

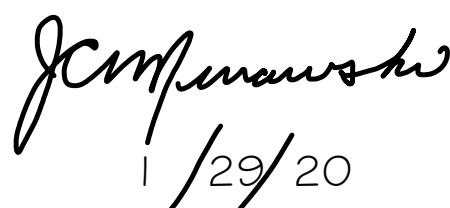




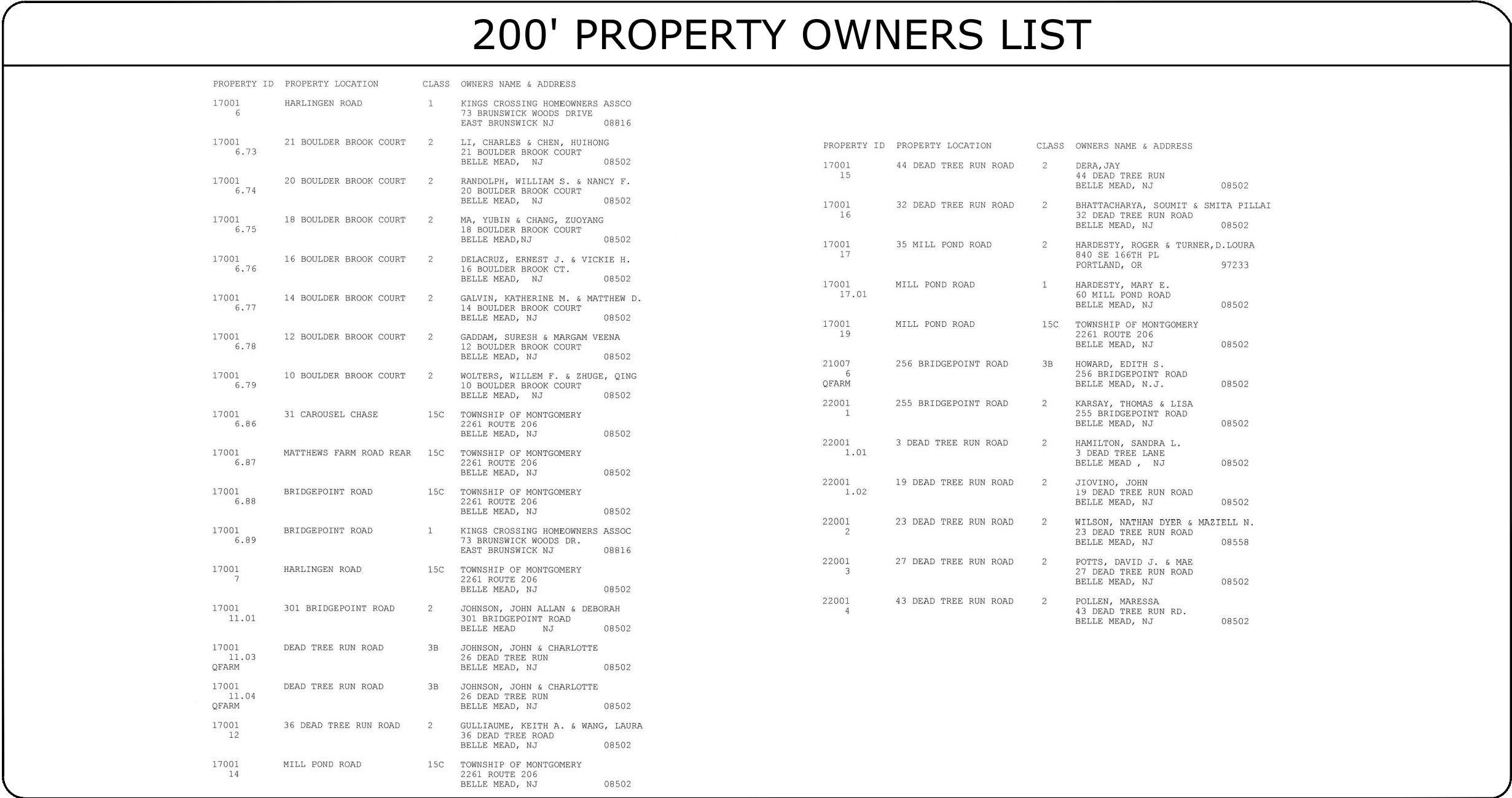
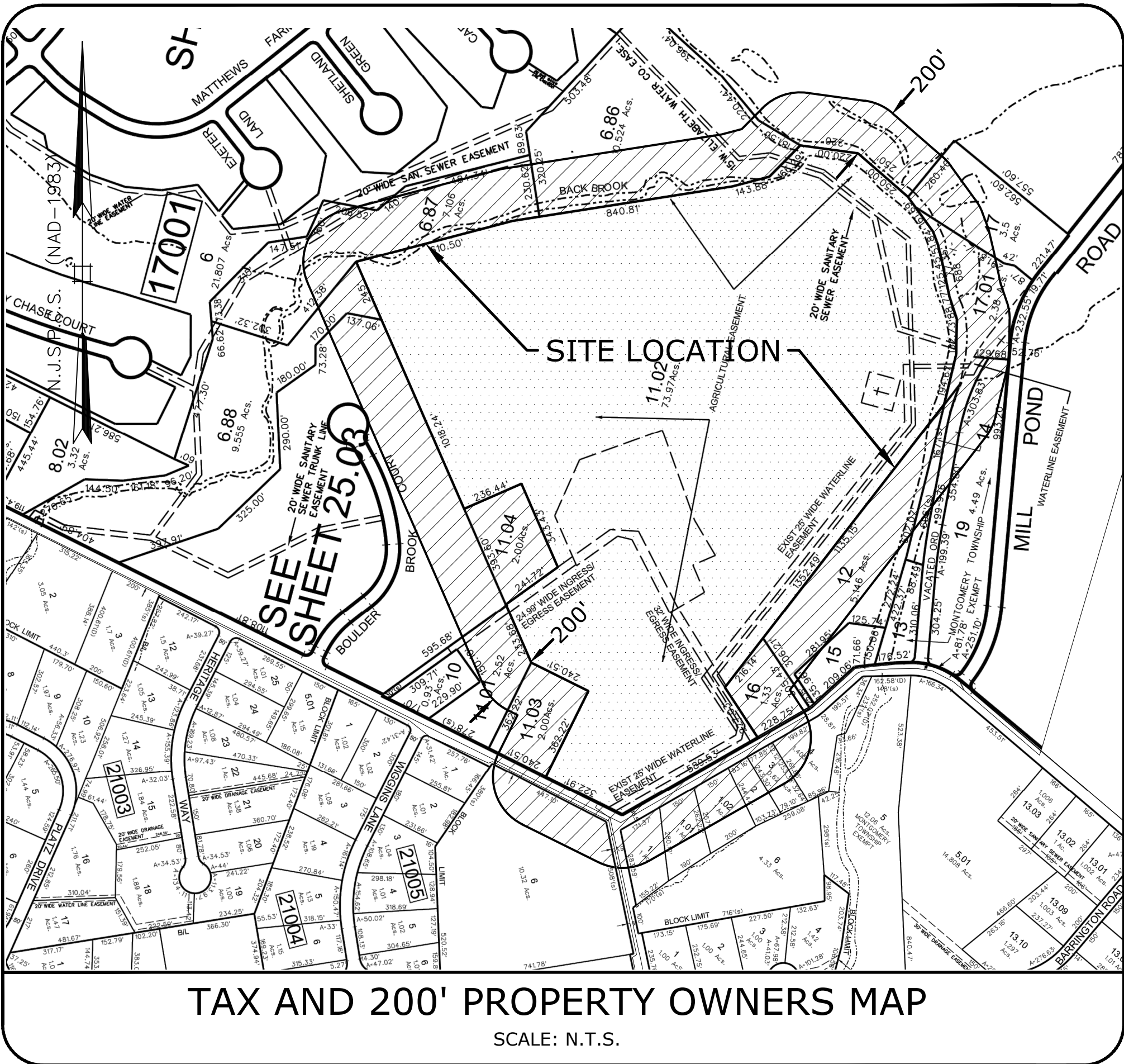
# Communication Site Development

26 DEAD TREE RUN ROAD, MONTGOMERY TWP,  
SOMERSET COUNTY, NEW JERSEY 08502  
BLOCK: 17001 LOT: 11.02

# NEW YORK SMSA LIMITED PARTNERSHIP d/b/a *verizon wireless*

KEY LOCATION MAP			TOWNSHIP APPROVAL			BULK REQUIREMENTS				PROJECT DATA							
			APPROVED THIS _____ DAY OF _____ 20_____  CHAIRMAN _____  SECRETARY _____  TOWNSHIP ENGINEER _____			ZONE: R2 - SINGLE FAMILY RESIDENTIAL - PROPOSED USE: TELECOMMUNICATION TOWER				PROJECT: SECTORSITE NJ-0418B							
										LOCATION: 26 DEAD TREE RUN ROAD MONTGOMERY TWP, SOMERSET COUNTY, NEW JERSEY 08502							
										LOT: 11.02							
										BLOCK: 17001							
										ZONE: R-2 SINGLE FAMILY RESIDENTIAL							
										PROPERTY OWNER: JOHN & CHARLOTTE JOHNSON 26 DEAD TREE RUN ROAD BELLE MEAD, NJ 08502							
										APPLICANT: SECTORSITE, LLC 53 S. JEFFERSON ROAD, SUITE M WHIPPANY, NEW JERSEY 07981							
										CONTACT : DAN GECHTMAN (201) 650-0988							
										CO-APPLICANT: NEW YORK SMSA LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS 180 WASHINGTON VALLEY ROAD, BEDMINSTER, NEW JERSEY 07921							
														CONTACT: (908) 256-7000			
			LIST OF DRAWINGS  T-1 TITLE SHEET T-2 TAX/ZONING MAP & 200' PROPERTY OWNER LIST SP-1 OVERALL SITE PLAN SP-2 ENLARGED SITE PLAN AND ELEVATION SP-3 LANDSCAPE PLAN SP-4 SOIL EROSION AND SEDIMENT CONTROL PLAN SP-5 STORMWATER PLAN AND DETAILS C-1 CONSTRUCTION DETAILS C-2 VERIZON WIRELESS EQUIPMENT DETAILS C-2 VERIZON WIRELESS ANTENNA AND EQUIPMENT DETAILS C-3 RESERVED SPRINT ANTENNA AND EQUIPMENT DETAILS			ACCESSORY BUILDING MINIMUM:				GENERAL NOTES  1. THE PROPOSED FACILITY IS UNMANNED, OCCUPANCY IS LIMITED TO PERIODIC VISITS BY VERIZON PERSONNEL FOR ROUTINE MAINTENANCE AND INSPECTION APPROXIMATELY ONCE OR TWICE A MONTH IN A PASSENGER VEHICLE OR VAN THEREFORE NO NEW PARKING IS PROPOSED. 2. POTABLE WATER AND SANITARY SEWER SERVICES ARE NOT REQUIRED OR PROPOSED FOR THE NEW COMMUNICATIONS FACILITY. 3. PROPOSED SIGNAGE PROVIDED FOR INFORMATIONAL & SAFETY PURPOSE ONLY. 4. THE PROPOSED PROJECT DOES NOT PRODUCE EXCESSIVE NOISE, GLARE, AIR POLLUTION OR FIRE HAZARDS. 5. ONLY TASK LIGHTING IS PROPOSED FOR THIS PROJECT. AS ONE 60 WATT MANUALLY OPERATED LIGHT ON TIMER SWITCH IS PROPOSED.							
						DISTANCE TO SIDE LINE 30 FT 200.1 FT NC											
						DISTANCE TO REAR LINE 30 FT 1204.9 FT NC											
						DISTANCE TO OTHER BUILDING 20 FT 100.5 FT NC											
						MAXIMUMS											
						BUILDING COVERAGE OF PRINCIPAL BUILDING 10% 0.0009% (RESIDENCE) NC											
						AGGREGATE BUILDING COVERAGE OF ACCESSORY BUILDING(S) 3% 0.10% (BARN & COOPS) NC											
						TABLE KEY: NC NO CHANGE NA NOT APPLICABLE V VARIANCE 1 PRE-EXISTING NON-CONFORMANCE											
						WIRELESS TELECOMMUNICATION FACILITIES - SECTION 16-6.1 BASED ON SECOND PRIORITY LOCATIONS											
						LAND AREA (S.F.) 20,000 3,222,322 NC											
						SETBACKS (FT):											
						STREET LINE (FT) 100 NA 1247.3											
						LOT LINE (FT) 200 NA 524.1											
						RESIDENTIAL DWELLING (FT) 500 NA 714.5 (OFF-SITE)											
						RESIDENTIAL DISTRICT BOUNDARY (FT) 750 NA 0 FT V (SITE)											
						HISTORIC SITE OR DISTRICT (FT) 1000 NA 0 FT V (SITE)											
						TOWER HIGHT (FT)(MULTIPLE USERS) 135 NA 135 FT (140' TO TOP OF BRANCHING)											
						PROPOSED EQUIPMENT: MAX. HEIGHT (FT) 15 FT NA 10 FT TO CABLE BRIDGE											
						MAX. AREA (S.F.) 375 NA 275 SF (VERIZON EQUIPMENT AREA)											
						SCHEDULE OF REVISIONS			 58 S. JEFFERSON ROAD SUITE M WHIPPANY, NJ 07981			NEW YORK SMSA LIMITED PARTNERSHIP d/b/a <i>verizon wireless</i> 180 WASHINGTON VALLEY ROAD, BEDMINSTER, NEW JERSEY 07921		N.J. ENGINEERING CERTIFICATE OF AUTHORIZATION No. 24GA28118200 <b>E 2 PROJECT MANAGEMENT LLC</b>  87 HIBERNIA AVENUE ROCKAWAY, N.J. 07866 PHONE: (973) 299-5200 FAX: (973) 299-5059 www.E2PM.com		I CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION   1/29/20  JAMES C MURAWSKI P.E. NJ24GE04738200 REGISTERED PROFESSIONAL ENGINEER	
SITE NAME: SECTORSITE NJ-0418B		FIRST ISSUE: 11/11/19		DRAWING NO. T-1													
26 DEAD TREE RUN ROAD MONTGOMERY TWP, SOMERSET COUNTY, NEW JERSEY 08502 BLOCK 17001 , LOT 11.02		DRAWN BY: TR		SHEET NO: 1 OF 11													
		CHECKED BY: JCM		PROJECT #: P-19-59-001.1 PRINT DATE: 01/23/20													
		SCALE: AS SHOWN		FILE: C:\USERS\JCM\PROJECTS\LOCAL\TEMP\ACUR\15076\1 - SECTORSITE NJ-0418B 2D REV 0.DWG													
0 01/23/20 ISSUED FOR MUNICIPAL REVIEW		TR JS															
REV. NO. DATE DESCRIPTION OF CHANGES		DRAWN BY CHK. BY															





**SECTORSITE**  
Communications Site Development  
*"Bridging the Gaps in Service"*  
**59 S. JEFFERSON ROAD  
SUITE M  
WHIPPANY, NJ 07981**

N.J. ENGINEERING CERTIFICATE OF  
AUTHORIZATION No. 24GA28118200

---

**E 2 PROJECT MANAGEMENT LLC**



JCMurawski  
1/29/20

SITE NAME:	SECTORSITE NJ-0418B
26 DEAD TREE RUN ROAD MONTGOMERY TWP, SOMERSET COUNTY, NEW JERSEY 08502 BLOCK 17001 , LOT 11.02	

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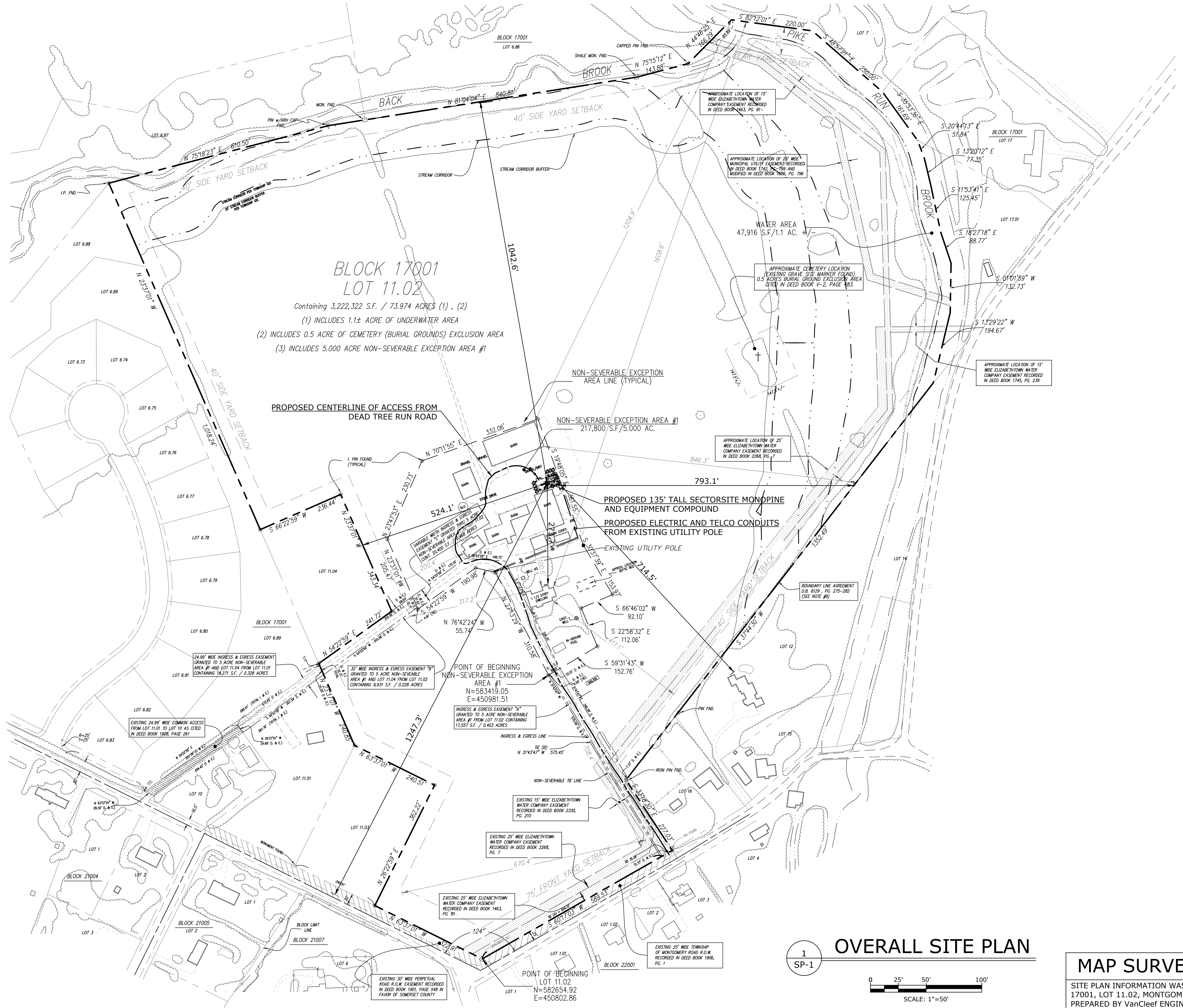
FIRST ISSUE: 11/11/19	DRAWING NO.
DRAWN BY: TR	T-2
CHECKED BY: JCM	
SCALE: AS SHOWN	SHEET NO: 2 OF 11
PROJECT #: P-19-59-001.1	PRINT DATE: 01/23/20
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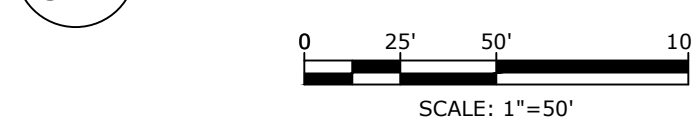
LEGEND

- PROPERTY LINE  
--- EASEMENT LIMIT  
--- SETBACK LINE  
--- EXISTING CONTOUR LINE  
--- EXISTING FENCE  
--- PROPOSED FENCE

AREA AND IMPERVIOUS SURFACE TABLE			
LOT 11.02, TOTAL AREA		3,222,322 SQ. FT.	
TOTAL IMPERVIOUS SURFACES		99,224 SQ. FT. (3%)	
EXISTING BUILDINGS AT GRADE		32,987 SQ. FT. (1%)	
GRAVEL DRIVEWAYS		66,237 SQ. FT. (2%)	
PROPOSED TOWER WIRELESS FACILITY TOTAL 1,800 SQ.FT. (< .1%)		(1,165 SQ.FT. NEW) IMPERVIOUS	



OVERALL SITE PLAN



MAP SURVEY REFERENCE:

SITE PLAN INFORMATION WAS OBTAINED FROM "BOUNDARY SURVEY OF BLOCK 17001, LOT 11.02, MONTGOMERY TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" PREPARED BY VanCleaf ENGINEERING ASSOCIATES, DATED 10/17/19

SCHEDULE OF REVISIONS

REV. NO.	DATE	DESCRIPTION OF CHANGES	DRAWN BY	CHK. BY
0	01/23/20	ISSUED FOR MUNICIPAL REVIEW	TR	JS



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LIMITED PARTNERSHIP  
d/b/a **verizon** wireless  
180 WASHINGTON VALLEY ROAD,  
BEDMINSTER, NEW JERSEY 07921

N.J. ENGINEERING CERTIFICATE OF  
AUTHORIZATION No. 24GA28118200  
**E 2 PROJECT MANAGEMENT LLC**

87 HIBERNIA AVENUE  
ROCKAWAY, N.J. 07866  
PHONE: (973) 299-5200  
FAX: (973) 299-5059  
www.E2PM.com



THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPROPRIATE. THIS DRAWING AND THE DESIGN FEATURES OR CONSTRUCTION DISCLOSED ARE PROPRIETARY TO E2 PROJECT MANAGEMENT LLC AND SHALL NOT BE REPRODUCED, ALTERED OR COPIED WITHOUT WRITTEN PERMISSION. SHALL NOT BE USED IN ANY MANNER DETRIMENTAL TO ITS INTEREST AND SHALL BE RETURNED UPON REQUEST.

I CERTIFY THAT THESE PLANS HAVE BEEN  
PREPARED UNDER MY SUPERVISION

*JCM*  
1/29/20

JAMES C MURAWSKI P.E. NJ24GE04738200  
REGISTERED PROFESSIONAL ENGINEER

OVERALL SITE PLAN

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26 DEAD TREE RUN ROAD  
MONTGOMERY TWP, SOMERSET COUNTY,  
NEW JERSEY 08502  
BLOCK 17001 , LOT 11.02

DRAWING ISSUE STATUS CURRENTLY -

A- (ISSUED FOR PRELIMINARY REVIEW)  
B- (SPECIFY)  
C- (SPECIFY)  
D- (SPECIFY)

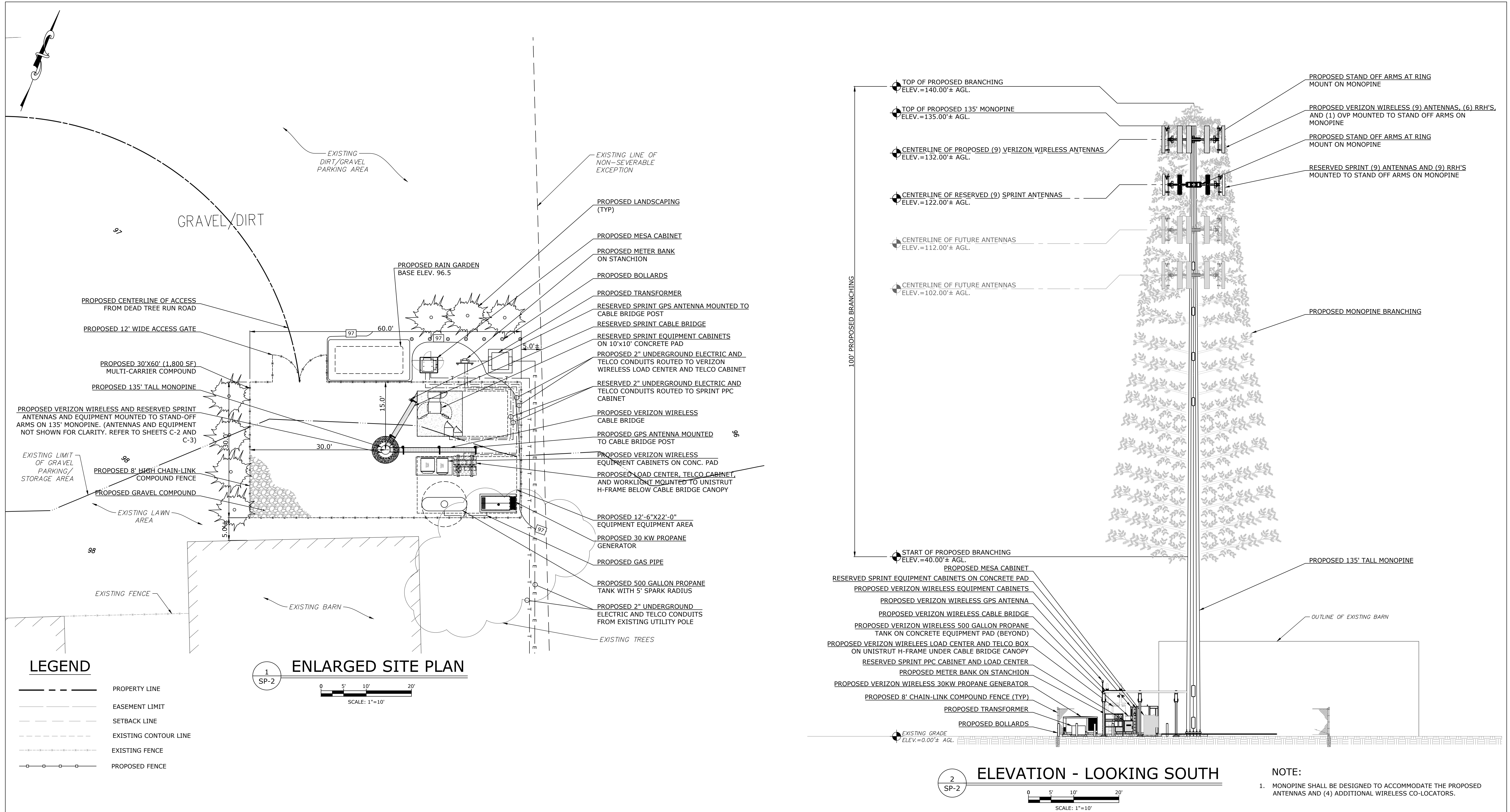
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SECTORSITE NJ-0418B 2D REV 0.DWG

DRAWING NO.  
**SP-1**

SHEET NO: 3 OF 11





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*JCM*  
1/29/20  
JAMES C MURAWSKI P.E. NJ24GE04738200  
REGISTERED PROFESSIONAL ENGINEER

### ENLARGED SITE PLAN AND ELEVATION

SITE NAME:  
SECTORSITE NJ-0418B  
26 DEAD TREE RUN ROAD  
MONTGOMERY TWP, SOMERSET COUNTY,  
NEW JERSEY 08502  
BLOCK 17001 , LOT 11.02

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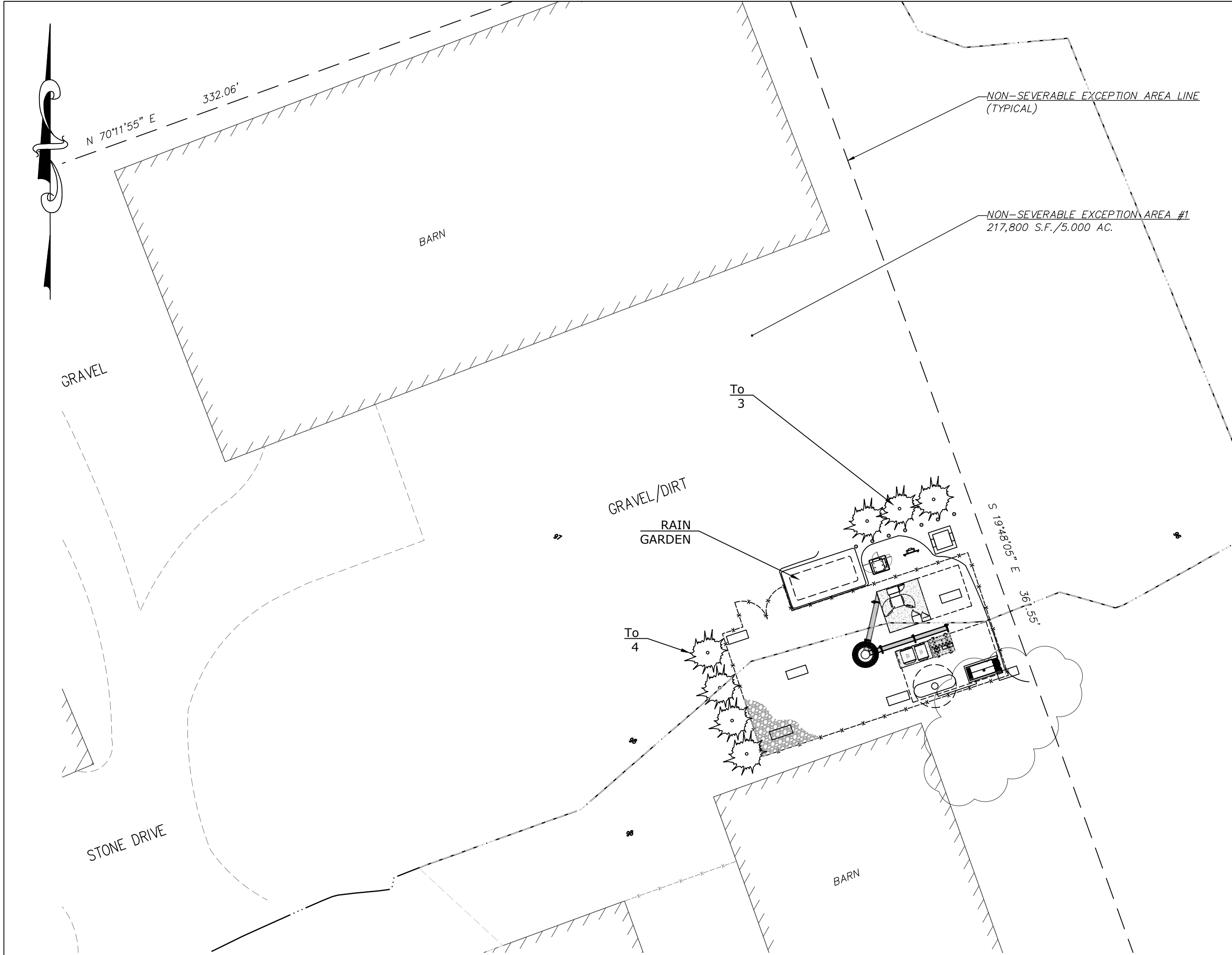
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DRAWN BY: TR  
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SECTORSITE NJ-0418B 2D REV 0.DWG

DRAWING NO.  
**SP-2**

SHEET NO: 4 OF 11

PRINT DATE: 01/23/20





## LEGEND

- PROPERTY LINE
- EASEMENT LIMIT
- SETBACK LINE
- EXISTING CONTOUR LINE
- EXISTING FENCE

### PLANT LIST

Key	Quantity	Common Name	Scientific Name	Size/Root	Spacing/Notes
Evergreen Trees					
To	7	Emerald Arborvitae	Thuja occidentalis 'Emerald'	5-6' / B&B	Spaced as Shown

### NOTES

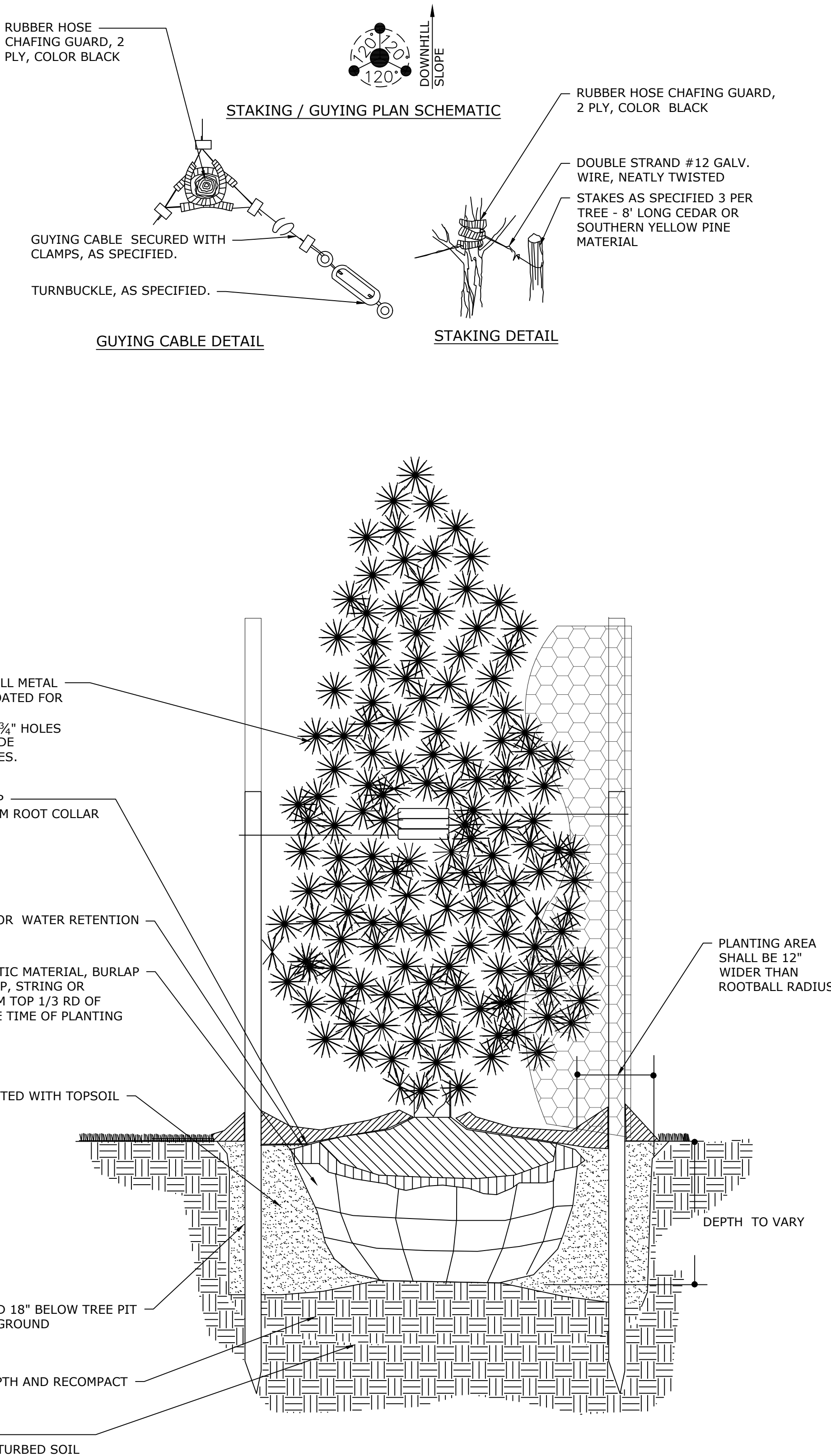
- Plant species substitutions not permitted unless approved by Landscape Designer – species specified above designed to maintain narrow space at full maturity.
- Water as required and as set forth in accordance with the Watering Schedule presented below.

### WATERING SCHEDULE

Maintenance Item	Schedule	Rate	Inspection Requirement	Maintenance Requirement
Watering	Weekly – Early Morning	Minimum One (1) Inch	Weekly – During First Growing Season or Until Vegetation Becomes Established. Inspect for Dry Soils, Wilting Vegetation.	Increase Watering Frequency / Rate to Maintain Soil Moisture and Plant Vigor.

### PLANTING NOTES

- THE LANDSCAPE PLAN SHALL BE USED FOR LANDSCAPING PURPOSES ONLY. THE CONTRACTOR SHOULD EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR EXACT LOCATIONS OF UTILITIES, DRAINS, ETC., AND NOTIFY THE OWNER ABOUT ANY DISCREPANCIES BEFORE STARTING WORK.
- ALL PLANTING SHALL BE IN CONFORMANCE WITH THE AMERICAN NURSERYMEN'S ASSOCIATION STANDARDS, CURRENT EDITION. ALL PLANT MATERIALS USED SHALL BE TRUE TO NAME AND SIZE IN CONFORMITY WITH THE CURRENT EDITION OF THE AMERICAN STANDARD OF NURSERY STOCK AND SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, SUN SCALD INJURIES, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL OTHER FORMS OF INFECTION. ALL PLANTS SHALL BE NURSERY GROWN. ALL PLANT MATERIAL SHALL BE TAGGED AT THE NURSERY SOURCE AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY ANY PERSON, VEHICLE, EQUIPMENT, OR TOOLS RELATED TO THE EXECUTION OF THIS CONTRACT.
- EXCAVATION NEAR EXISTING UTILITIES TO BE CAREFULLY PERFORMED BY HAND.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE AT THE NURSERY. ALL PLANT MATERIAL SHALL BE PLANTED SO THAT THE TOP OF THE ROOTBALL IS NO HIGHER OR LOWER THAN THE EXISTING/FINISHED GRADE DEPENDENT UPON SOIL CONDITIONS.
- IN THE EVENT THAT PLANTING DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE LANDSCAPING PLAN SHALL GOVERN. THE USE AND PLANTING OF BARE ROOT MATERIAL SHALL BE PROHIBITED.
- ALL PLANT MATERIAL IS TO BE GUARANTEED FOR A PERIOD OF TWENTY FOUR MONTHS FROM TIME OF FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE OF THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE WITHIN TWO (2) WEEKS UPON NOTIFICATION.
- ANY SUBSTITUTIONS OF PLANT MATERIAL WITH REGARDS TO SIZE, SPECIES, VARIETY, ETC., SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
- PRUNE NEWLY PLANTED TREES AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. PLANTS SHALL ONLY BE INSTALLED WHEN THE SOIL IS FROST FREE.
- UNDER NO CIRCUMSTANCES SHOULD THE MAIN LEADER OF A DECIDUOUS OR EVERGREEN TREE BE TOPPED. DECIDUOUS TREES SHALL BE PRUNED BY REMOVAL OF 1/3 OF THE INTERIOR BRANCHING STRUCTURE WITHOUT ALTERING THE ORIGINAL BRANCHING FORM OF THE TREE.
- ALL DISTURBED AREAS, NOT BEING PLANTED, SHALL BE TOPSOILED 4" THICK, FERTILIZED, SEEDING, AND MULCHED WITH APPROVED MULCH. TOPSOIL SHALL BE NATURAL FRIABLE, FERTILE SOIL CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY. IT SHALL BE FREE OF LUMPS OF CLAY, STONES, ROOTS, AND OTHER FOREIGN MATTER.
- CUT AND LOOSEN SISAL HEMP CHOKE TIE AROUND TREE TRUNK. ALL PLASTIC MATERIAL SHALL NOT BE PERMITTED. ALL WIRE BASKETS AND PLASTIC LINERS OF CONTAINER GROWN TREES AND SHRUBS MUST BE COMPLETELY REMOVED. NO CONTAINER GROWN MATERIAL WILL BE ACCEPTED IF IT IS ROOT BOUND AND NOT ROOT PRUNED. THE USE OF NYLON TWINE ON ROOT BALLS IS PROHIBITED.
- THE DEPTH OF PLANT PITS SHALL BE INCREASED BY 12" THROUGH THE ADDITION OF LOOSE AGGREGATE (3/4" TO 1 1/2" DIAMETER) WHEREVER POOR DRAINAGE OCCURS OR WHERE DIRECTED BY FPA.
- GUY WIRES SHALL BE LOCATED SO THAT THEY WILL NOT PULL CROTCH APART. GUY WIRES TO SECOND BRANCH (MINIMUM ONE-THIRD HEIGHT OF TREE). USE THREE GUYS PER TREE UNLESS OTHERWISE INDICATED. ALL TREE STAKES, GUY WIRES, TREE WRAPPING AND SAUCERS SHALL BE REMOVED AFTER ONE GROWING SEASON.
- IN THE EVENT THAT EXISTING VEGETATION IS REMOVED BEYOND THE CLEARING LIMITS SHOWN ON THE PLANS, ADDITIONAL PLANTING MUST BE PROVIDED AS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT AND AT NO COST TO THE OWNER.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF ONE PART TOPSOIL, ONE PART NATIVE SOIL AND ONE PART PEAT MOSS. NOTE THAT PLANTING MIXTURE MAY CHANGE BASED UPON SOIL CONDITIONS.
- MULCH, 4" IN DEPTH, SHALL BE TREATED SHREDDED HARDWOOD BARK NOT EXCEEDING 2" IN GREATEST DIMENSION. A NON-PLASTIC WEED RETARDANT BARRIER SHALL BE USED IN ALL NON GRASSED AREAS. MULCH SHALL BE FINE GRADED FOR A PLEASING APPEARANCE. THE USE OF MARBLE OR PINE BARK CHIPS IS PROHIBITED.
- ALL PLANT MATERIAL SHALL BE GIVEN A MINIMUM OF 5 GALLONS OF WATER AT THE TIME OF INSTALLATION AND SHALL BE WATERED AT INTERVALS DURING ESTABLISHMENT TO ENSURE ADAPTATION TO THE SITE. PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL, THE CONTRACTOR SHALL FILL EACH PLANTING PIT WITH WATER AND ALLOW IT TO FULLY PERCOLATE INTO THE GROUND PRIOR TO PLACEMENT OF THE PLANT. THE CONTRACTOR SHALL NOTIFY EITHER THE TOWNSHIP OR PROJECT LANDSCAPE ARCHITECT OF ANY PERCOLATION PROBLEMS PRIOR TO INSTALLATION.
- PREFERRED PLANTING TIME PERIODS ARE FROM SEPTEMBER 1 TO NOVEMBER 30 OR MARCH 20 TO MAY 31. NO PLANTING SHALL BE EXECUTED DURING ABNORMALLY HOT WEATHER NOR WHEN THE GROUND IS FROZEN.
- THE CONTRACTOR SHALL REMOVE ALL DAMAGED BRANCHES AND NURSERY TAGS AT THE TIME OF INSTALLATION.
- ALL TURF SHALL RECEIVE FERTILIZER CONSISTING OF 10-6-4 (50% ORGANIC) COMPOSITION, APPLIED AT 3 LB. PER 100 SQ. FT. SLOW RELEASE FERTILIZER TABLETS OR PACKETS OF 20-10-5 COMPOSITION SHALL BE ADDED TO ALL PLANTING PITS AT THE FOLLOWING RATIOS: 1 PER SHRUB, 2 PER DECIDUOUS OR EVERGREEN TREES UP TO 2" IN CALIPER AND 3 FOR DECIDUOUS AND EVERGREEN TREES ABOVE 2" IN CALIPER.
- EACH TREE THAT IS PLANTED MUST BE TAGGED WITH A DURABLE LABEL BEARING THE GENUS, SPECIES, VARIETY, PLANT PATENT NUMBER (IF APPLICABLE) AND CULTURAL REQUIREMENTS AND MUST BE INSPECTED PRIOR TO REMOVAL.



### EVERGREEN TREE PLANTING DETAIL

N.T.S.

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*JCMurawski*  
1/29/20

JAMES C MURAWSKI P.E. NJ24GE04738200  
REGISTERED PROFESSIONAL ENGINEER

### LANDSCAPE PLAN

SITE NAME:  
SECTORSITE NJ-0418B

26 DEAD TREE RUN ROAD  
MONTGOMERY TWP, SOMERSET COUNTY,  
NEW JERSEY 08502  
BLOCK 17001 , LOT 11.02

DRAWING ISSUE STATUS CURRENTLY -

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B- (SPECIFY)  
C- (SPECIFY)  
D- (SPECIFY)

FIRST ISSUE: 11/11/19

DRAWN BY: TR

CHECKED BY: JCM

SCALE: AS SHOWN

PROJECT #: P-19-59-001.1 PRINT DATE: 01/23/20

FILE: C:\USERS\JCM\APPDATA\LOCAL\TEMP\ACUR\153761

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DRAWING NO.

**SP-3**

SHEET NO: 5 OF 11

PROJECT #: P-19-59-001.1 PRINT DATE: 01/23/20

FILE: C:\USERS\JCM\APPDATA\LOCAL\TEMP\ACUR\153761

FILE: C:\USERS\JCM\APPDATA\LOCAL\TEMP\ACUR\153761



SOMERSET-UNION SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS
4. PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
7. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.: STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
8. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAT 3:1)
9. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50"X30"X6"PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
11. IN THAT NJSA 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
12. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
13. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
14. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
16. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
17. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
18. HYDRO SEEDING IS A TWO- STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.
19. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SOIL TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.

TOPSOIL STOCKPILE PROTECTION: (APPLY DURING GROWING SEASON)

A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SQ. FT.

B) APPLY FERTILIZER (10-20-10) AT A RATE 11 LBS. PER 1000 SQ. FT.

C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.

D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.

E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH

F) PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.

TEMPORARY STABILIZATION SPECIFICATIONS: (APPLY DURING GROWING SEASON)

A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SQ. FT.

B) APPLY FERTILIZER (10-20-10) AT A RATE 11 LBS. PER 1000 SQ. FT.

C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.

D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.

E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR MAY MULCH

PERMANENT STABILIZATION SPECIFICATIONS: (APPLY DURING GROWING SEASON)

A) APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED)

B) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SQ. FT. AND WORK FOUR INCHES INTO SOIL

C) APPLY FERTILIZER (10-20-00) AT A RATE 11 LBS. PER 1000 SQ. FT.

D) APPLY HARD FESCUE SEED AT 2.7 LBS. PER 1000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LBS. PER 1000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS. PER 1000 SQ. FT.

E) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ. FT.

F) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

SEEDING FOR NON-GROWING SEASON STABILIZATION:

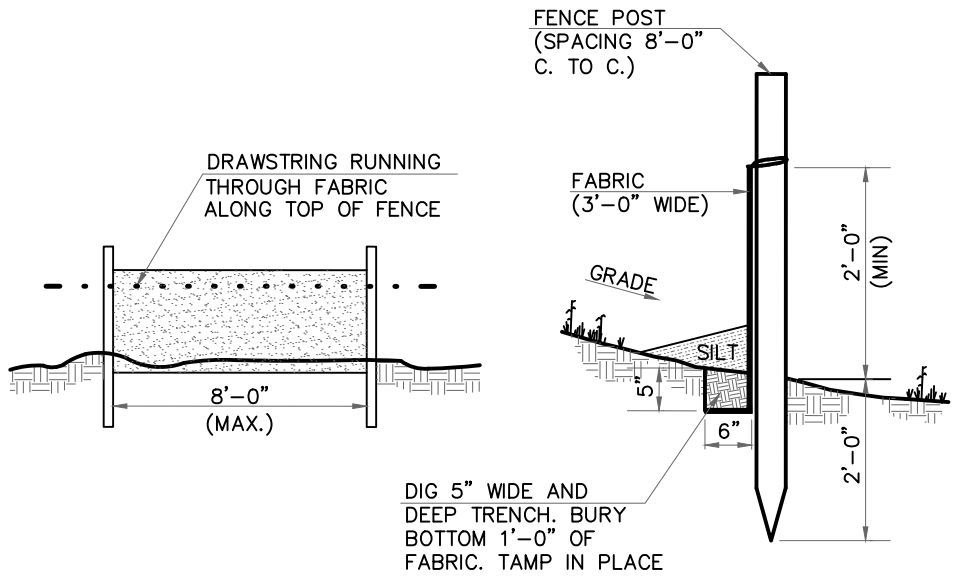
A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SQ. FT.

B) APPLY FERTILIZER (10-20-10) AT A RATE 11 LBS. PER 1000 SQ. FT.

C) MULCH WITH UNROTTED SMALL-GRAIN STRAW OR SALT HAY AT 2 TONS PER ACRE SPREAD UNIFORMLY AT 90 LBS. PER 1000 SQ. FT.

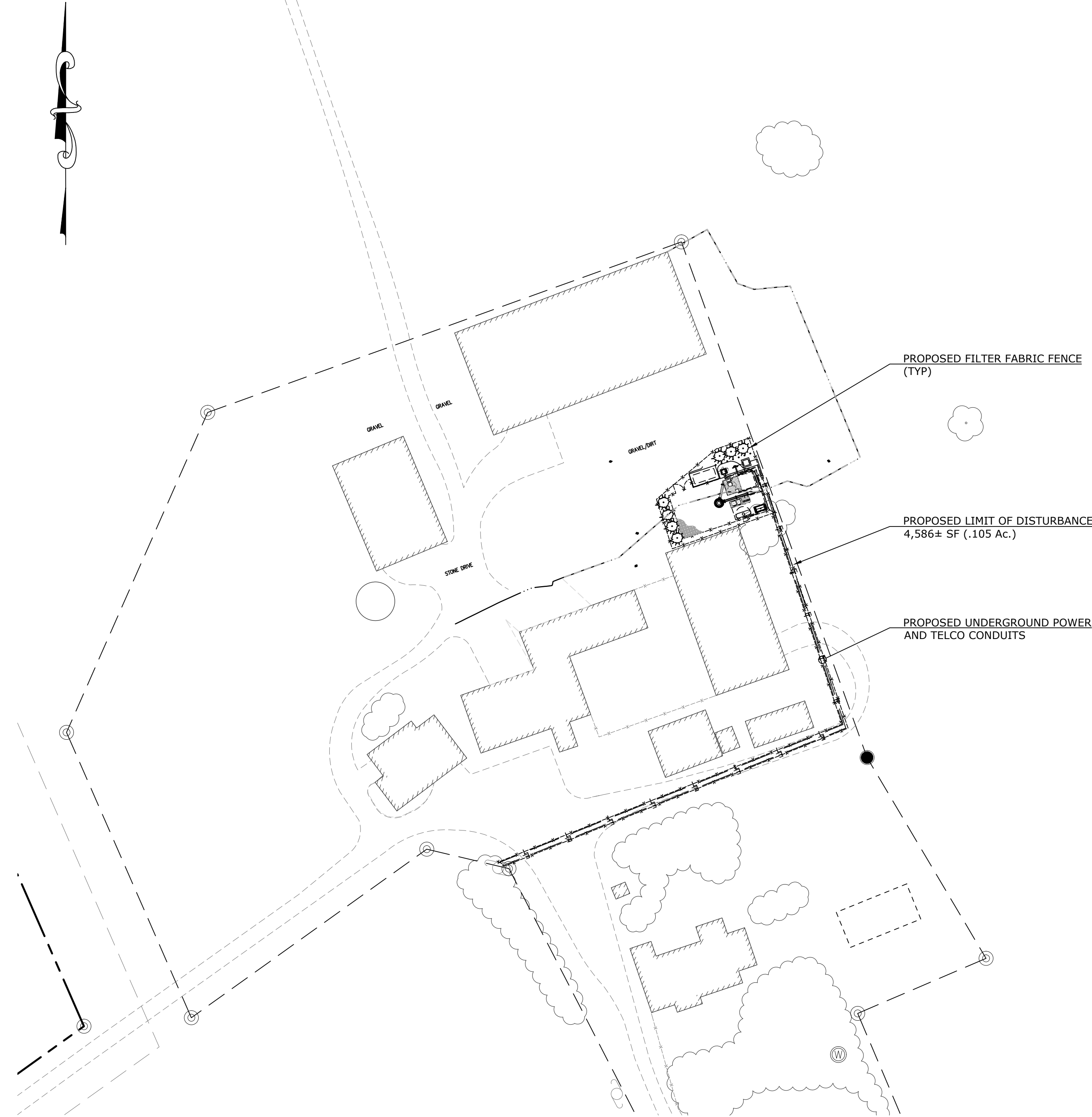
D) APPLY A LIQUID MULCH BINDER SUCH AS ORGANIC AND VEGETABLE BASED BINDERS OR SYNTHETIC BINDERS IMMEDIATELY AFTER SEEDING. APPLY AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.

- REQUIREMENTS FOR DUST CONTROL:
1. CONTRACTOR SHALL EMPLOY MEASURES TO CONTROL BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, AS NECESSARY.
  2. METHODS FOR CONTROLLING DUST SHALL INCLUDE MULCHES, VEGETATIVE COVER, SPRAY-ON ADHESIVES, TILLAGE, SPRINKLING, BARRIERS, CALCIUM CHLORIDE, AND STONE COVER.
  3. DUST CONTROLS SHALL COMPLY WITH STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.



FILTER FABRIC FENCE

N.T.S.



LEGEND

- PROPERTY LINE
- EASEMENT LIMIT
- SETBACK LINE
- EXISTING CONTOUR LINE
- EXISTING FENCE
- FILTER FABRIC FENCE

NOTE:

NO TEMPORARY SOIL STOCK PILING IS PROPOSED. EXCAVATED SOIL WILL BE IMMEDIATELY REMOVED AND REUSED BY LANDOWNER FOR AGRICULTURAL PURPOSES.

PROPOSED LIMIT OF DISTURBANCE (L.O.D.)	
4,586 SF	.105 Ac



SOIL EROSION AND SEDIMENT CONTROL PLAN

MAP SURVEY REFERENCE:

SITE PLAN INFORMATION WAS OBTAINED FROM "BOUNDARY SURVEY OF BLOCK 17001, LOT 11.02, MONTGOMERY TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" PREPARED BY VanCleaf ENGINEERING ASSOCIATES, DATED 10/17/19

SCHEDULE OF REVISIONS				
0	01/23/20	ISSUED FOR MUNICIPAL REVIEW	TR	JS
REV. NO.	DATE	DESCRIPTION OF CHANGES	DRAWN BY	CHK. BY



NEW YORK SMSA  
LIMITED PARTNERSHIP  
d/b/a **verizon** wireless  
180 WASHINGTON VALLEY ROAD,  
BEDMINSTER, NEW JERSEY 07921

N.J. ENGINEERING CERTIFICATE OF  
AUTHORIZATION No. 24GA28118200  
**E 2 PROJECT MANAGEMENT LLC**

87 HIBERNIA AVENUE  
ROCKAWAY, N.J. 07866  
PHONE: (973) 299-5200  
FAX: (973) 299-5059  
www.E2PM.com



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I CERTIFY THAT THESE PLANS HAVE BEEN  
PREPARED UNDER MY SUPERVISION

*JCM*  
1/29/20

JAMES C MURAWSKI P.E. NJ24GE04738200  
REGISTERED PROFESSIONAL ENGINEER

SOIL EROSION AND  
SEDIMENT CONTROL PLAN,  
NOTES AND DETAILS

SITE NAME:  
SECTORSITE NJ-0418B

26 DEAD TREE RUN ROAD  
MONTGOMERY TWP, SOMERSET COUNTY,  
NEW JERSEY 08502  
BLOCK 17001 , LOT 11.02

DRAWING ISSUE STATUS CURRENTLY -

A- (ISSUED FOR PRELIMINARY REVIEW)  
B- (SPECIFY)  
C- (SPECIFY)  
D- (SPECIFY)

FIRST ISSUE: 11/11/19  
DRAWN BY: TR

CHECKED BY: JCM

SCALE: AS SHOWN

FILE: C:\USERS\JCM\APPDATA\LOCAL\TEMP\AKURLISH\_153761  
- SECTORSITE NJ-0418B-20 REV 0.DWG

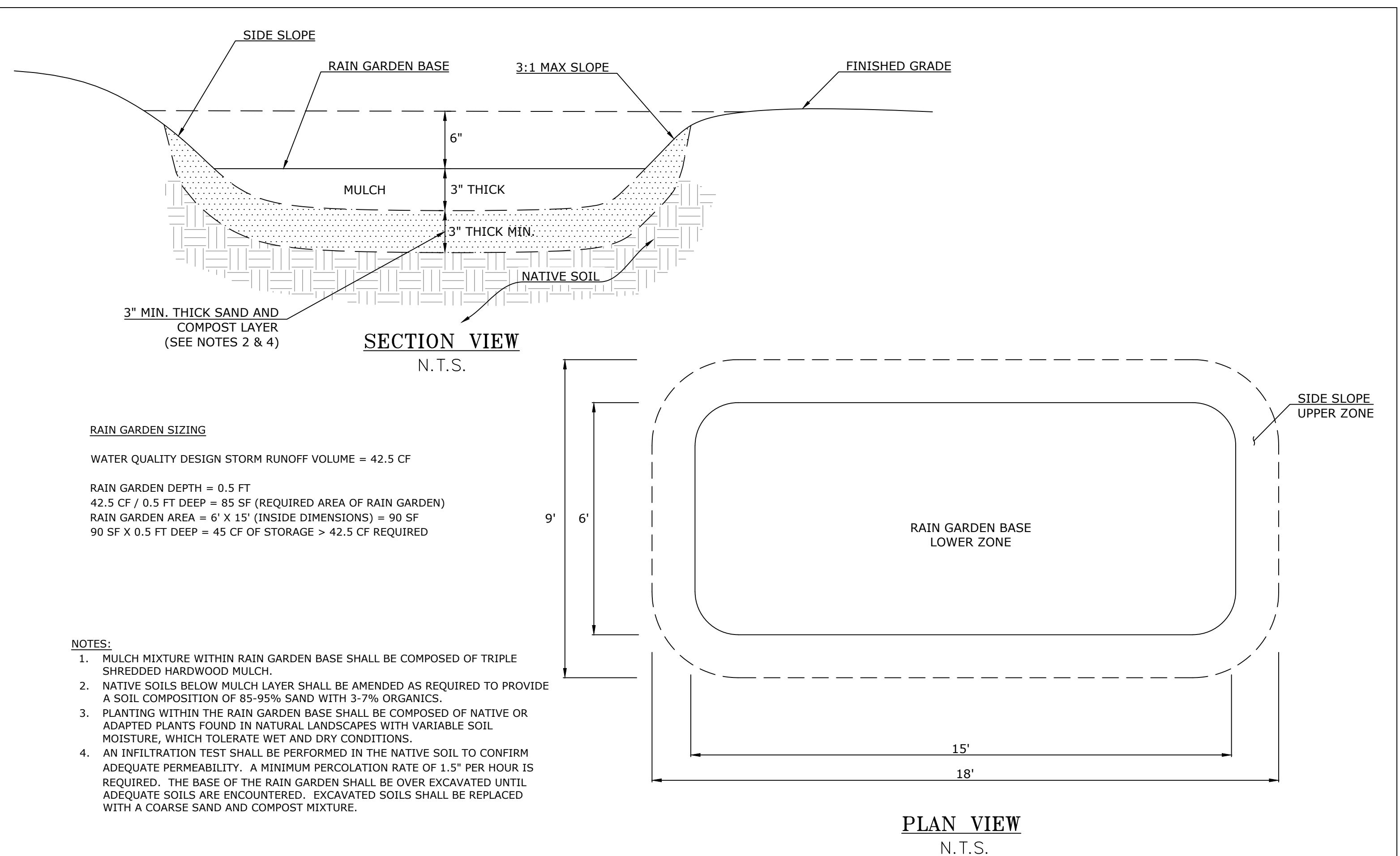
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**SP-4**

SHEET NO: 6 OF 11

PROJECT #: P-19-59-001.1 PRINT DATE: 01/23/20

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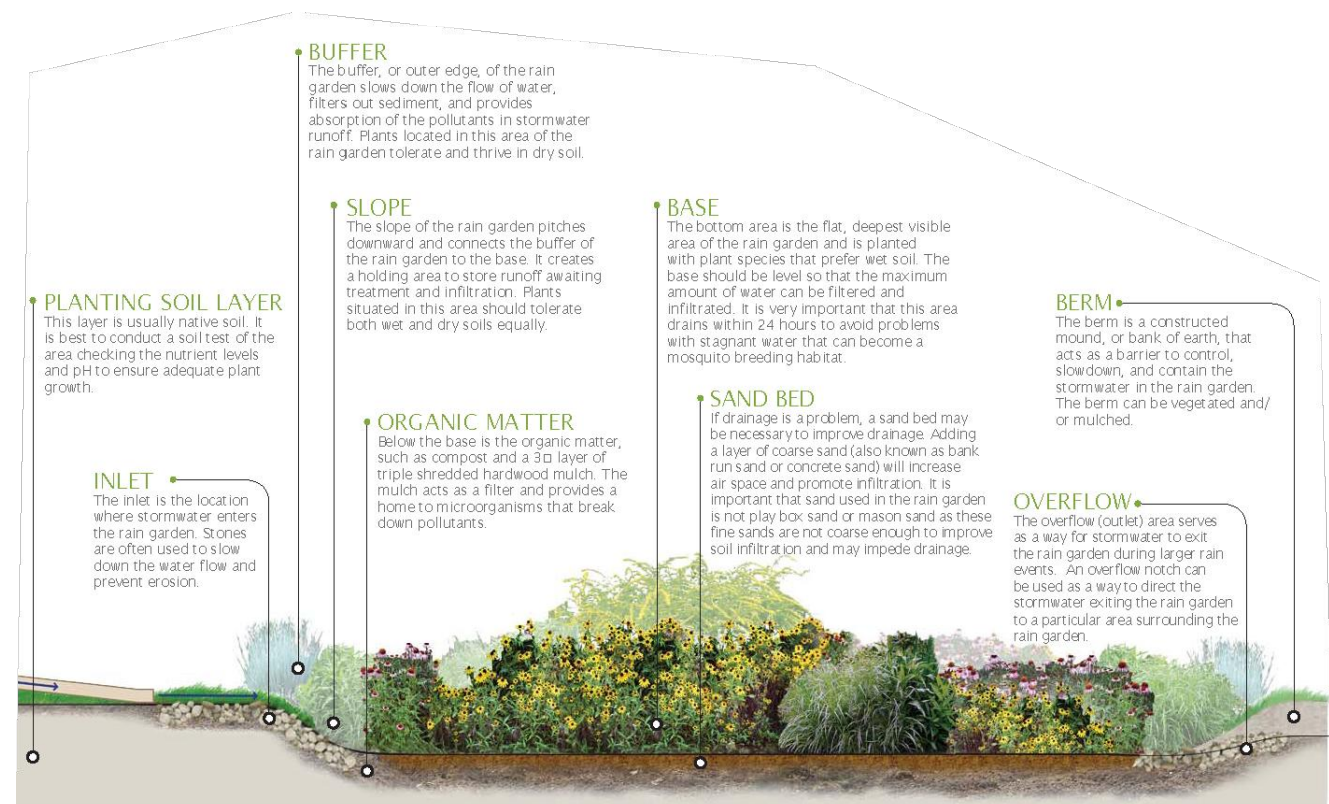
### LIST OF PLANT TYPES FOR RAIN GARDEN

## RAIN GARDEN PLANT LIST

Key	Quantity	Common Name	Scientific Name	Size/Root	Spacing/Notes
<b>Herbaceous – Rain Garden Base – Lower Zone</b>					
He	1	Bonsai	Eupatorium perfoliatum	2" Plug	Interpersed
Ja	Common	Common Sneezeweed	Helianthus autumnale	2" Plug	randomly
He	1	Junco	Soft Rush	2" Plug	throughout bed of garden. See Note.
Cd	1	Cardinal Flower	Lobelia cardinalis	2" Plug	
Lo	1	Great Blue Lobelia	Lobelia siphilitica	2" Plug	
<b>Herbaceous – Side Slope – Upper Zone</b>					
Co	1	Purple Coneflower	Echinacea purpurea	2" Plug	Interpersed
Pd	1	Bee-balm	Monarda didyma	2" Plug	randomly
Mv	1	Swallowtail	Panicum virgatum	2" Plug	throughout bed of garden. See Note.
Ps	1	Pinkish-eyed Susan	Rudbeckia hirta	2" Plug	

Notes: All Plants / Plant Sizes can be obtained from Pinelands Nursery and Supply, 323 Island Road Columbus, NJ 08022  
sales@pinelandsnursery.com

Plant spacing - Interspersed randomly throughout bed of garden. Clump like species in groupings not less than three individuals and no more than seven individuals per grouping. [www.pineandnursery.com](http://www.pineandnursery.com)



SCHEDULE OF REVISIONS				
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REV. NO.	DATE	DESCRIPTION OF CHANGES	DRAWN BY	CHK. BY



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*d/b/a verizon wireless*  
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JCMFurawski  
1/29/20

JAMES C MURAWSKI P.E. NJ24GE04738200  
REGISTERED PROFESSIONAL ENGINEER

## STORMWATER PLAN AND DETAILS

SITE NAME: SECTORSITE NJ-0418B

26 DEAD TREE RUN ROAD  
MONTGOMERY TWP, SOMERSET COUNTY,  
NEW JERSEY 08502  
BLOCK 17001 , LOT 11.02

DRAWING ISSUE STATUS CURRENTLY -

A-ISSUED FOR PRELIMINARY REVIEW  
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C-(SPECIFY) \_\_\_\_\_  
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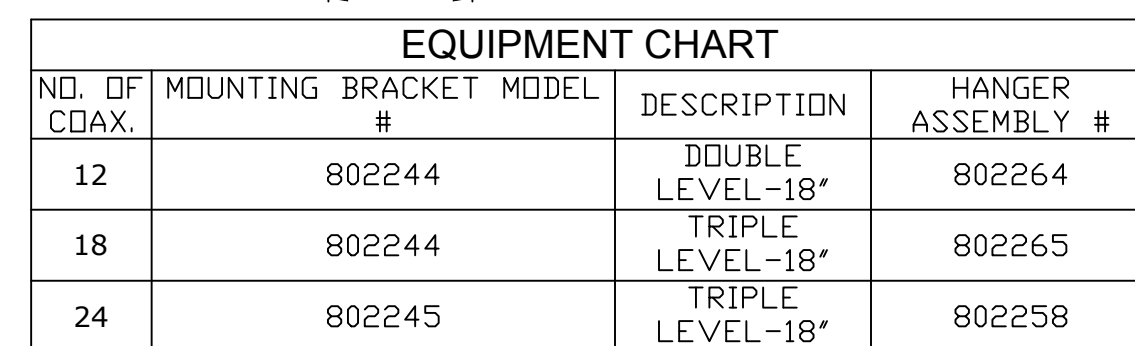
SCALE: AS SHOWN

SHEET	AS SHOWN	SHEET NO.	OF	11
PROJECT #	D-10-EG-001-1	PRINT DATE	01/23/20	

PROJECT #. F-19-39-001.1	PRINT
FILE # CALIFORNIA BIODATA LOCAL TEMP ACTU BLM 12336	

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10'

8'

CORNER, GATE, END OR PULL POST

TOP BRACE RAIL

DIAGONAL ROD W/ STEEL TURNBUCKLE

FINISH GRADE OR GROUND

1-1/2"

(2.5' CORNER & END POSTS) 2' LINEPOSTS

1" POSITIVE CROWN TYP.

BOTTOM TENSION WIRE

NOTES:

1. ALL FITTINGS, CLAMPS, FASTENERS, NUTS, & ACCESSORIES TO BE GALVANIZED STEEL.
2. BLACK VINYL COATED CHAIN LINK.

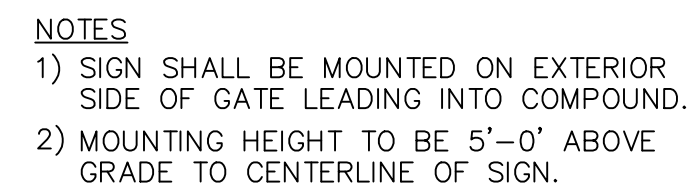
SCHEDULE OF REVISIONS			
2/3/20	ISSUED FOR MUNICIPAL REVIEW	TR	JS
DATE	DESCRIPTION OF CHANGES	DRAWN BY	CHK. BY



 **SECTORSITE**  
Communications Site Development  
*"Bridging the Gaps in Service"*  
**58 S. JEFFERSON ROAD  
SUITE M  
WHIPPANY, NJ 07961**

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JAMES C MURAWSKI P.E. NJ24GE04738200  
REGISTERED PROFESSIONAL ENGINEER



4  
C-1

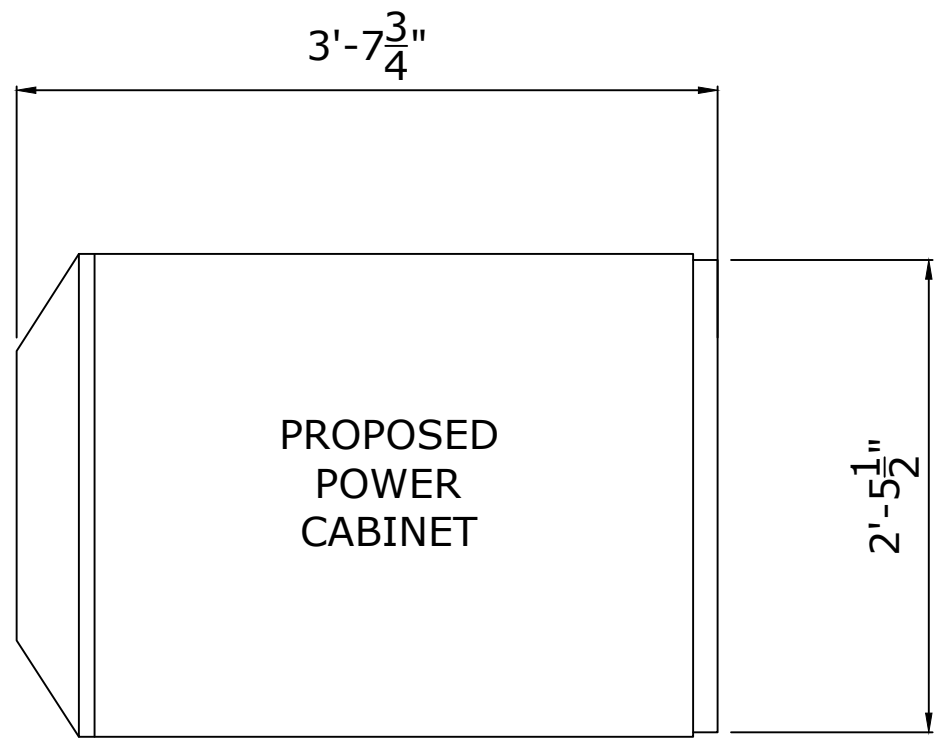


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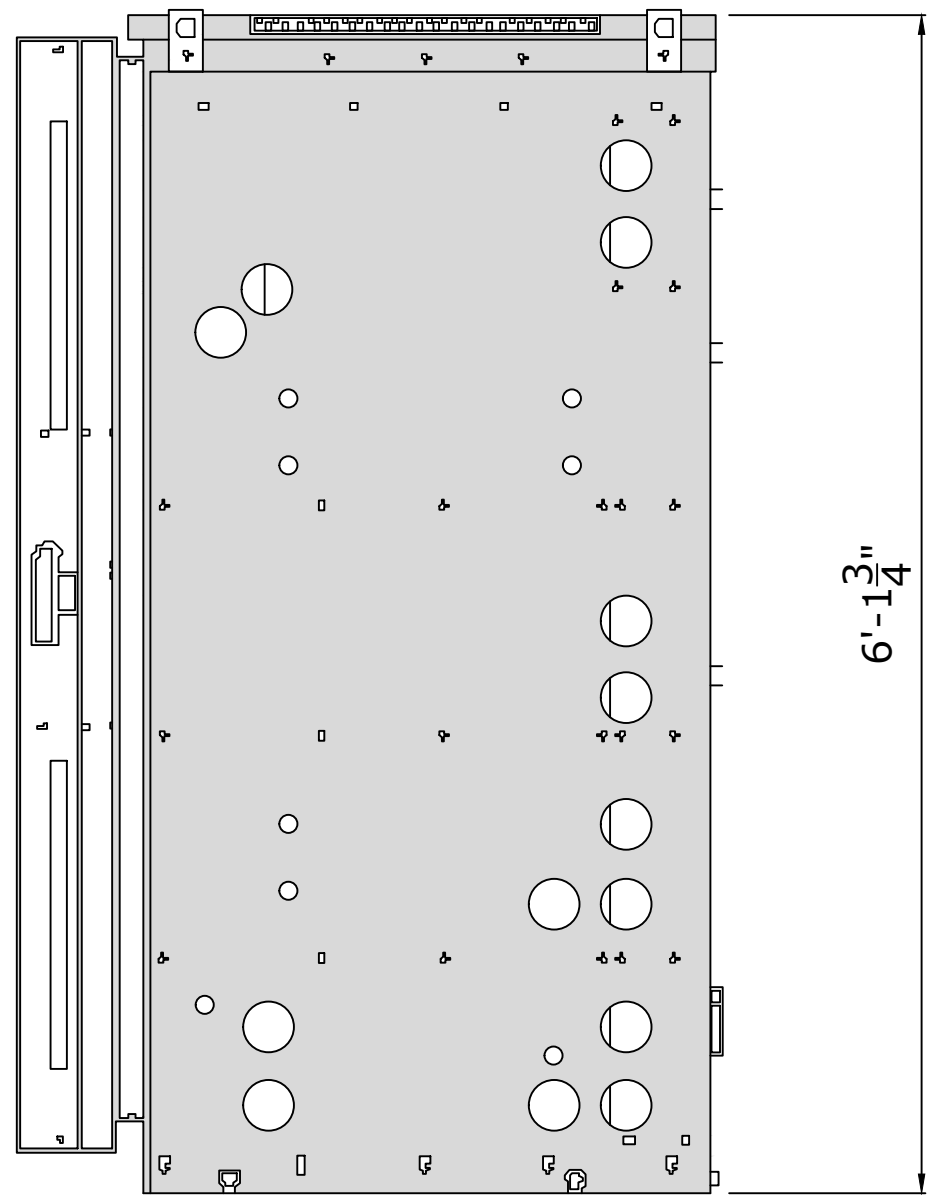
26 DEAD TREE RUN ROAD  
MONTGOMERY TWP, SOMERSET COUNTY,  
NEW JERSEY 08502  
BLOCK 17001 , LOT 11.02

FIRST ISSUE: 11/11/19	DRAWING NO.
DRAWN BY: TR	C-1
CHECKED BY: JCM	
SCALE: AS SHOWN	SHEET NO: 8 OF 11
PROJECT # : P-19-59-001.1	PRINT DATE: 01/23/20
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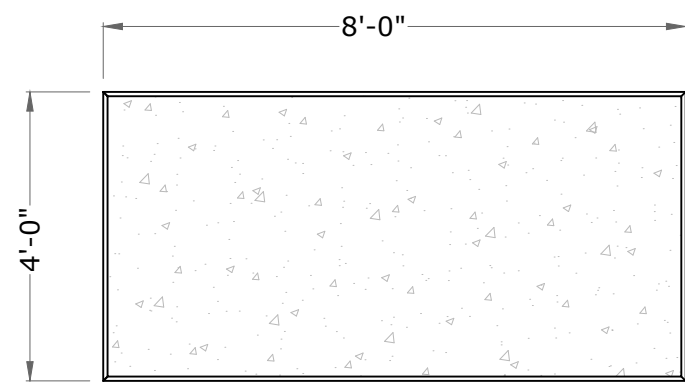


PLAN

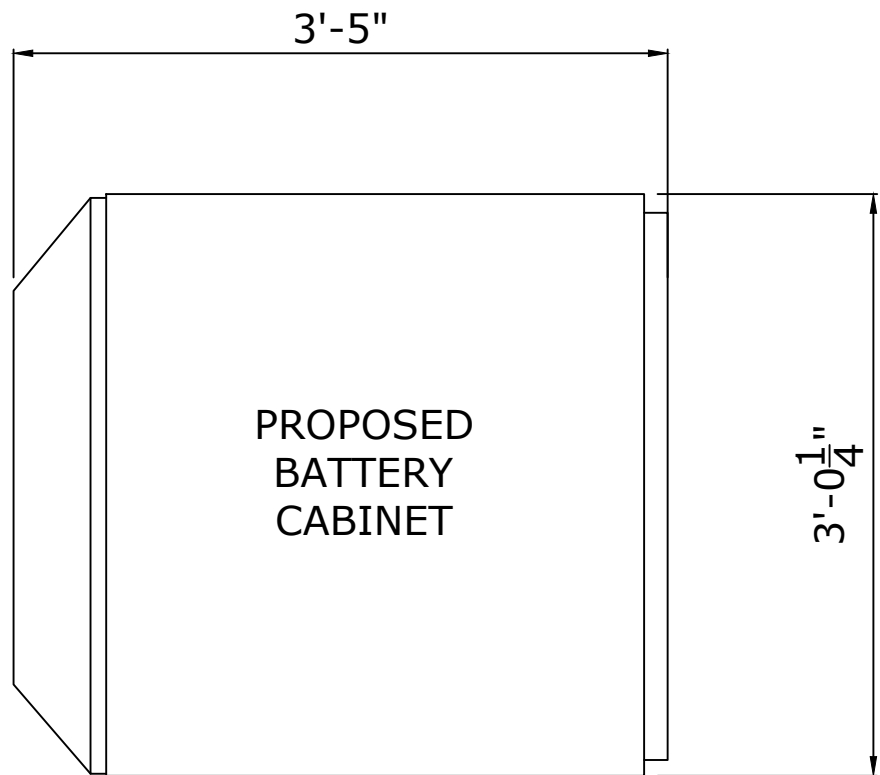


POWER CABINET DETAIL

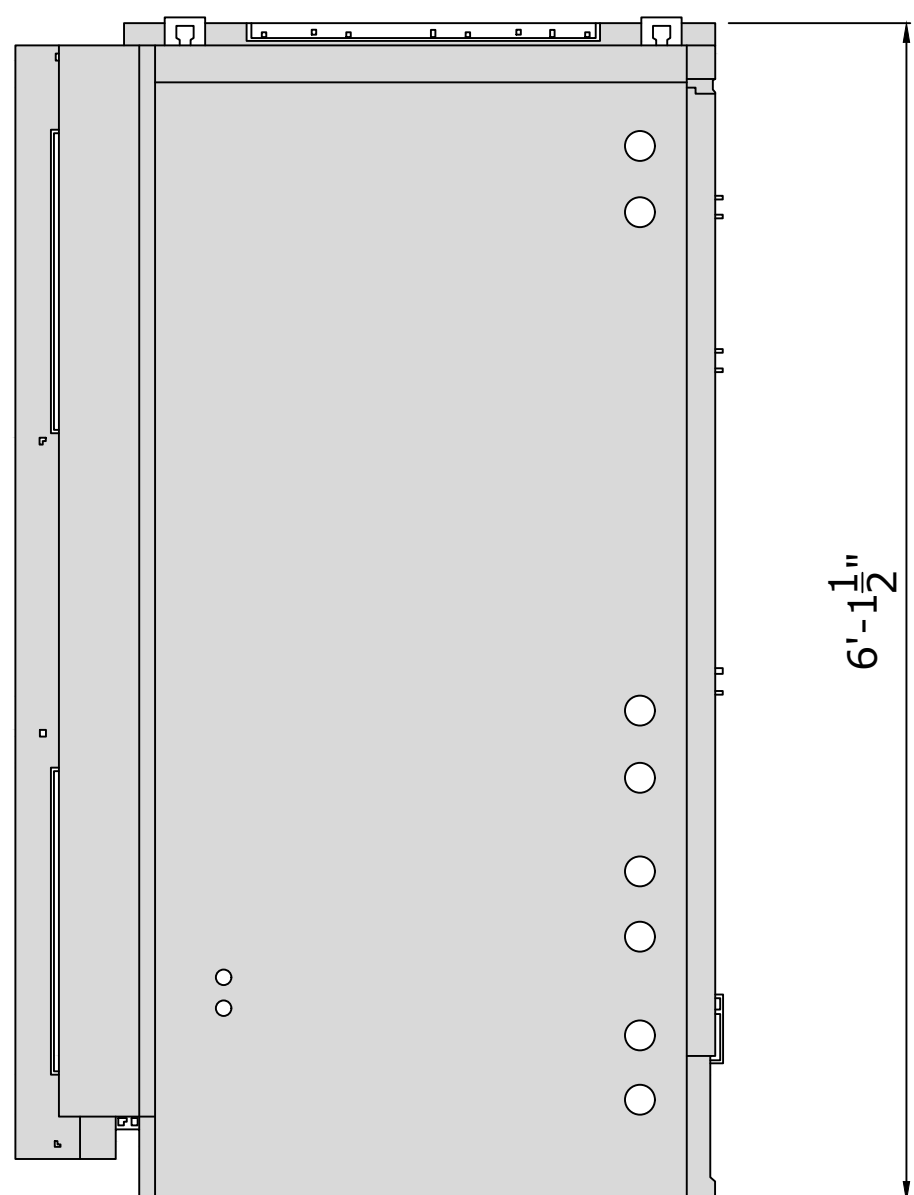
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C-2  
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PLAN

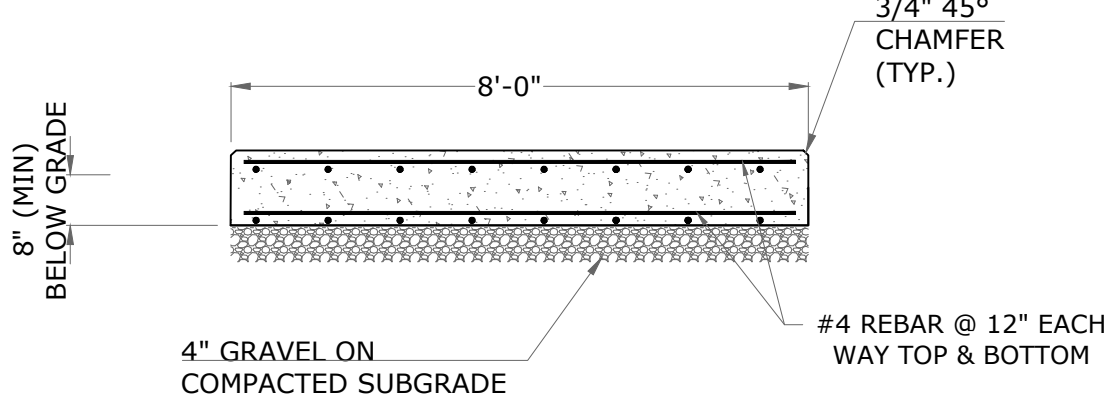


PLAN



BATTERY CABINET DETAIL

2  
C-2  
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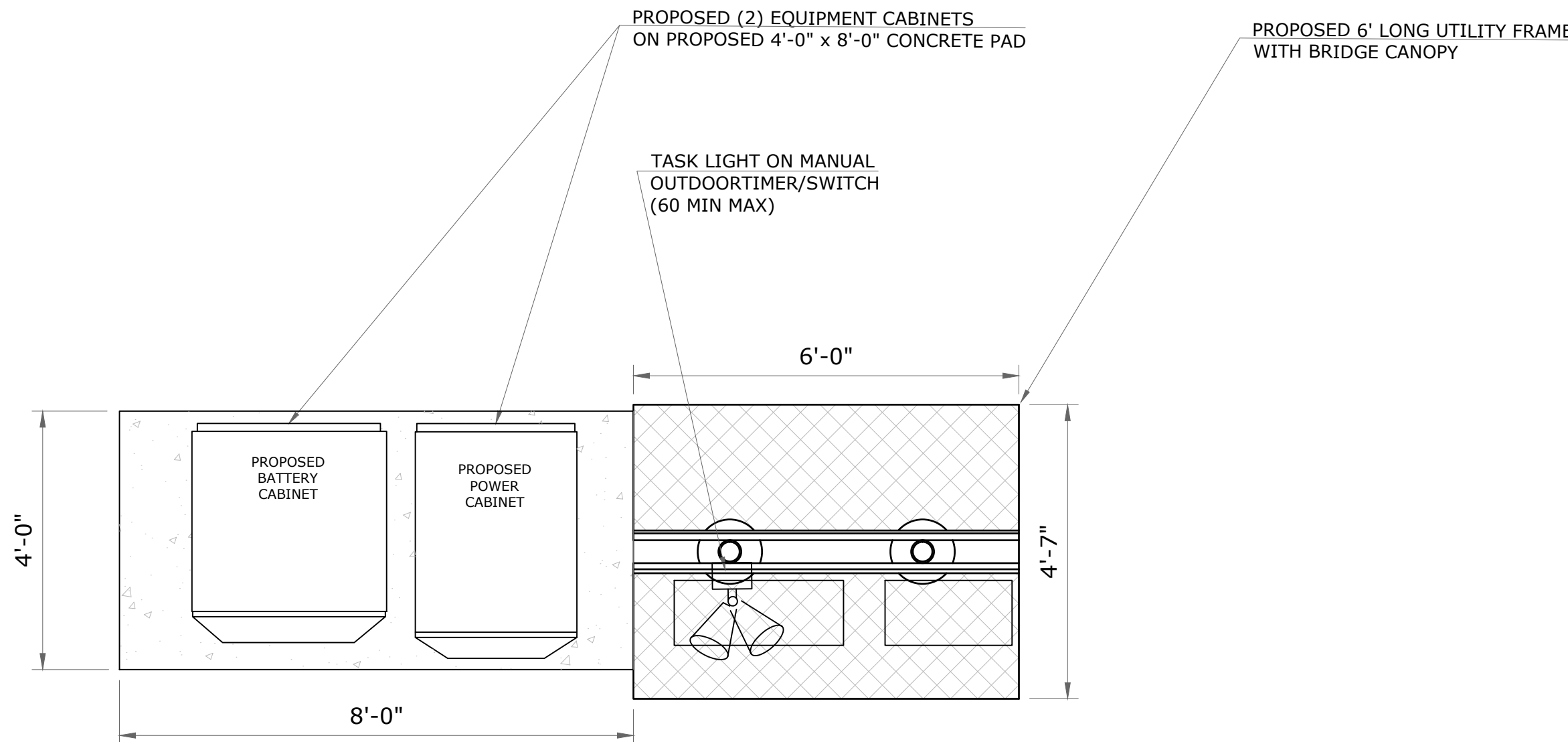


SECTION

EQUIPMENT CONCRETE PAD

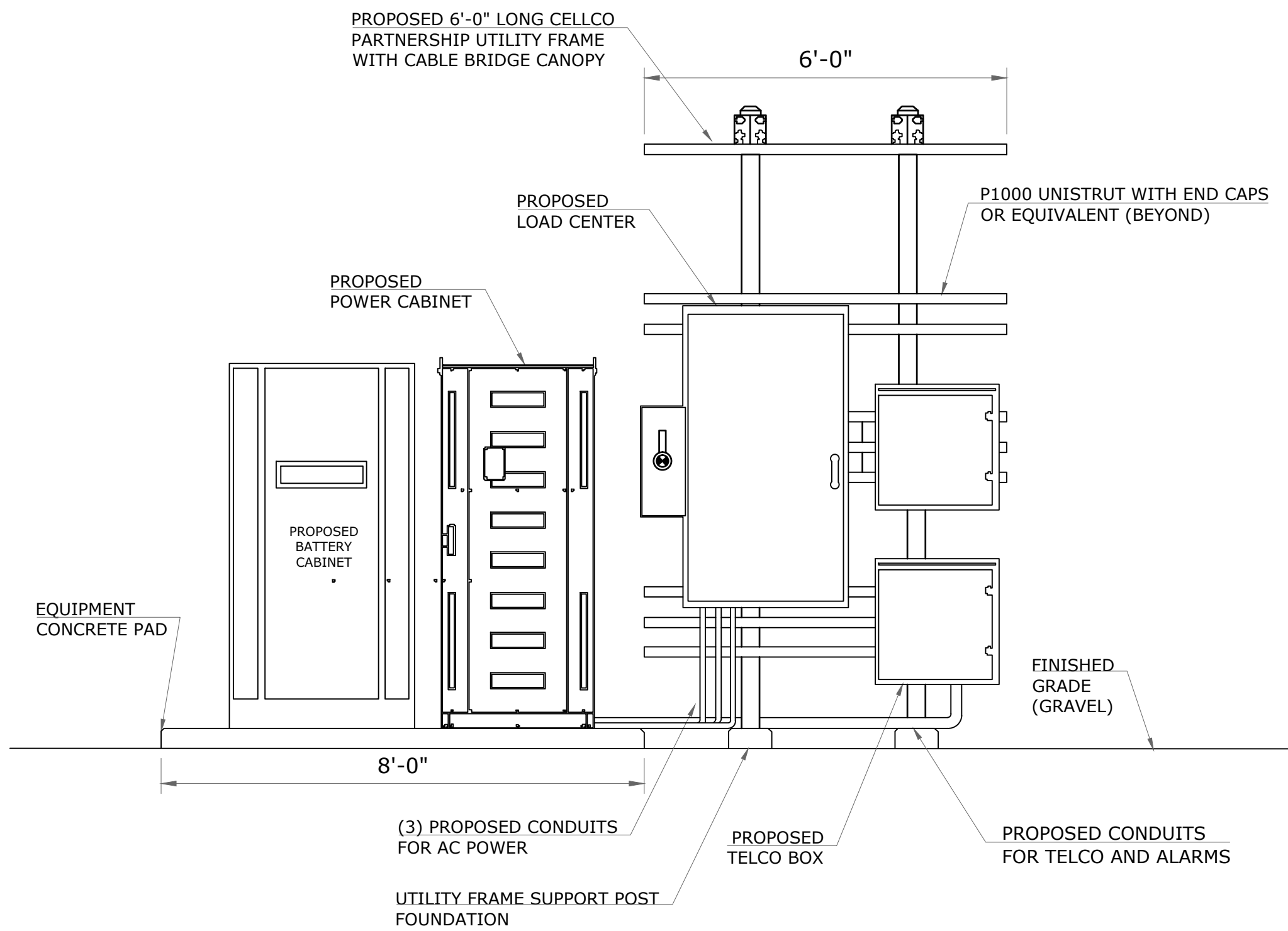
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5  
C-2



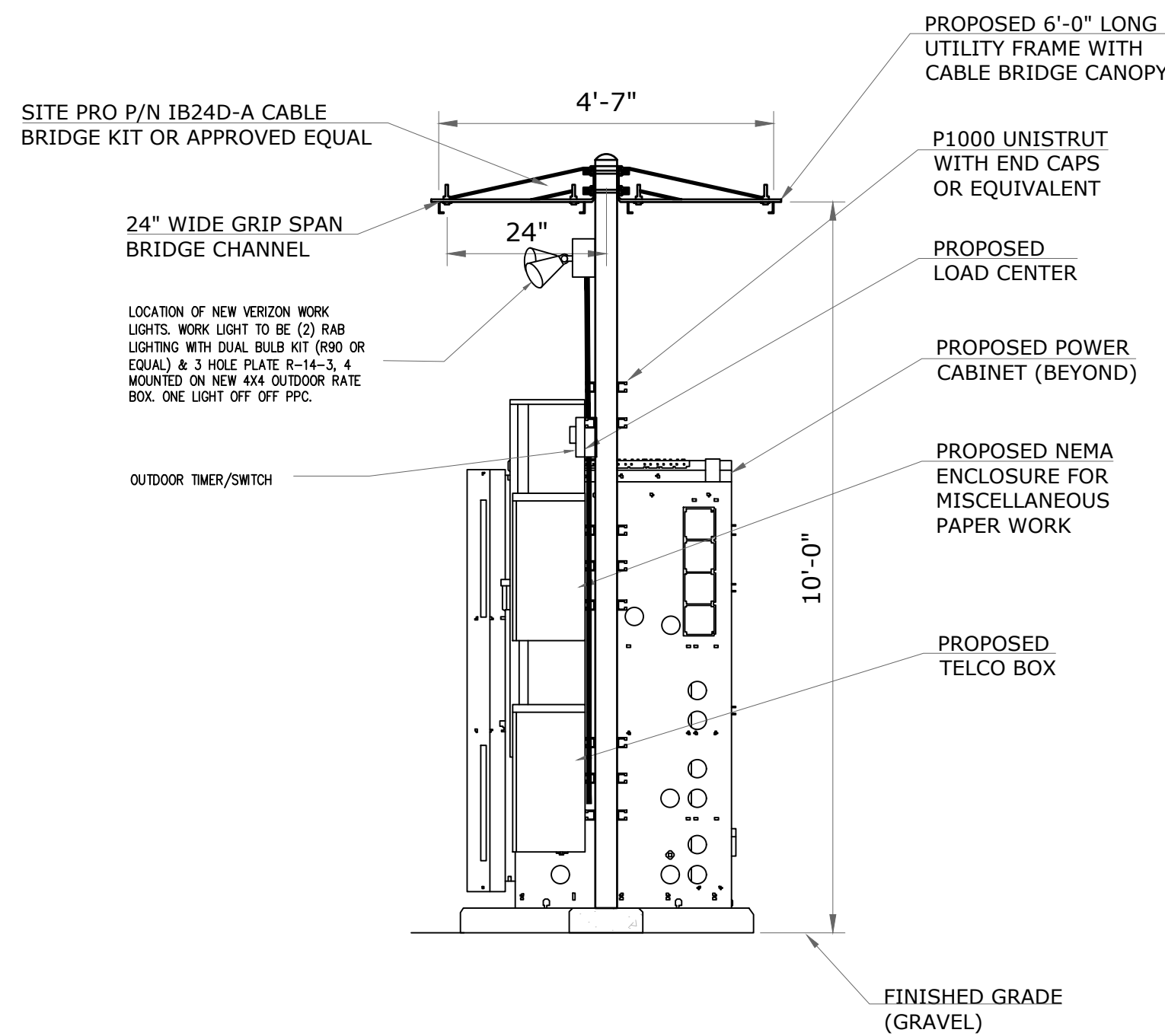
EQUIPMENT LAYOUT

2  
C-2  
N.T.S.



SECTION

3  
C-2  
N.T.S.



SECTION

4  
C-2  
N.T.S.

SCHEDULE OF REVISIONS				
REV. NO.	DATE	DESCRIPTION OF CHANGES	DRAWN BY	CHK. BY
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*James C. Murawski*  
1/29/20

JAMES C MURAWSKI P.E. NJ24GE04738200  
REGISTERED PROFESSIONAL ENGINEER

VERIZON WIRELESS  
EQUIPMENT DETAILS

SITE NAME:  
SECTORSITE NJ-0418B  
26 DEAD TREE RUN ROAD  
MONTGOMERY TWP, SOMERSET COUNTY,  
NEW JERSEY 08502  
BLOCK 17001 , LOT 11.02

DRAWING ISSUE STATUS CURRENTLY -  
A-ISSUED FOR PRELIMINARY REVIEW  
B-(SPECIFY)  
C-(SPECIFY)  
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FIRST ISSUE: 11/11/19  
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SCALE: AS SHOWN  
PROJECT #: P-19-59-001.1  
FILE: C:\USERS\JCM\APPDATA\LOCAL\TEMP\ACUR\153701\_153701 - SECTORSITE NJ-0418B 2D REV 0.DWG

DRAWING NO.  
**C-2**  
SHEET NO: 9 OF 11  
PRINT DATE: 01/23/20

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- **Engine Features**
  - Powerful and reliable 2.2L turbocharged liquid-cooled engine
  - Electronic engine management system
  - Single fuel conversion between natural gas and LPG loads while maintaining emission certification
- **Innovative Cooling System**
  - Electronically controlled fan speeds minimize generator set sound signature
- **Attenuator features:**
  - Kohler's wound field excitation system with its generator set systems and components. A five-year extended comprehensive limited warranty is also available.

- **High Quality Power**  
Kohler generators provide advanced voltage and frequency regulation along with ultra-low levels of harmonic distortion for excellent generator power quality to protect your valuable electronics.

- **Kohler is known for extraordinary reliability and performance** and backs that up with a premium five-year or 2000 hour limited warranty.
- **All-Aluminum Sound Enclosure**  
Durable aluminum sound-attenuating enclosure.

Alternator	Voltage	Pis	Hz	Natural Gas 150°C Rise		LPG Gas 120°C Rise	
				Standby Rating kW/kVA	Arsp	Standby Rating kW/kVA	Arsp
120,006	3	60	30,008	100	30,008	100	
127,220	3	60	30,008	100	30,008	100	
120,940	3	60	30,008	22	30,008	22	

Application Data		
Engine	Exhaust	
<b>Engine Specifications</b>	<b>Exhaust System</b>	
Manufacturer	Exhaust manifold type	Dry
Design model type	Exhaust temperature at rated kW, dry exhaust, °C (°F)	610 (1130)
Cylinder arrangement	Maximum allowable back pressure, kPa (in Hg)	7.5 (2.2)
Displacement, L (cu. ft.)		
Bore and stroke, mm (in.)		
Compression ratio		
Power speed, r/min, (ft./min.)		

Engine Electrical System	
Ignition system	Electronic
Battery charging alternator:	
Ground (negative/positive)	Negative
Volts (DC)	14
Amperes rating	90
Starter motor rated voltage (DC)	12
Battery recommended cold cranking amperes (CCA)	
Qty., rating for -18°C (3°F)	One, 630
Battery voltage (DC)	12
Battery group size	24

**KOHLER.** KOHLER CO., Kohler, Wisconsin 53044 USA  
Phone (920) 437-4441, Fax (920) 439-1440  
For the nearest sales and service outlet in the  
US and Canada, phone 1-800-544-2644  
KOHLERFlow.com

Available Options	
<input type="checkbox"/>	<b>Approvals and Listings</b>
<input type="checkbox"/>	CSA Certified
<input type="checkbox"/>	UL 2600 Listing
<input type="checkbox"/>	<b>Control</b>
<input type="checkbox"/>	15-Relay Dry Contact Board
<input type="checkbox"/>	Commissioning Package
<input type="checkbox"/>	Print/Output Module (2 inputs, 5 outputs)
<input type="checkbox"/>	Local/In Emergency Stop (Lockout/Tagout)
<input type="checkbox"/>	Low Fuel Pressure Warning Switch
<input type="checkbox"/>	Manual Key Switch
<input type="checkbox"/>	Manual Speed Adjust
<input type="checkbox"/>	Remote Annunciator Panel
<input type="checkbox"/>	Remote Emergency Stop

☐ Battery for help meter  
☐ Battery  
☐ Battery Charger, 6 Amp  
☐ Battery Charger, 10 Amp w/Alarm  
☐ Battery Heater  
☐ Temperature Compensation for 10 Amp Battery Charger

NOTE: This drawing is provided for reference only and should not be used for planning. Contact your local distributor for more detailed information.

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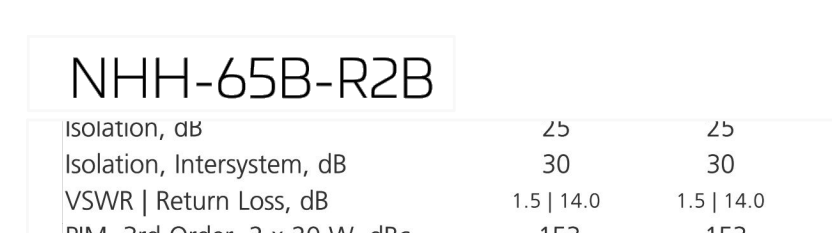
OF REVISIONS

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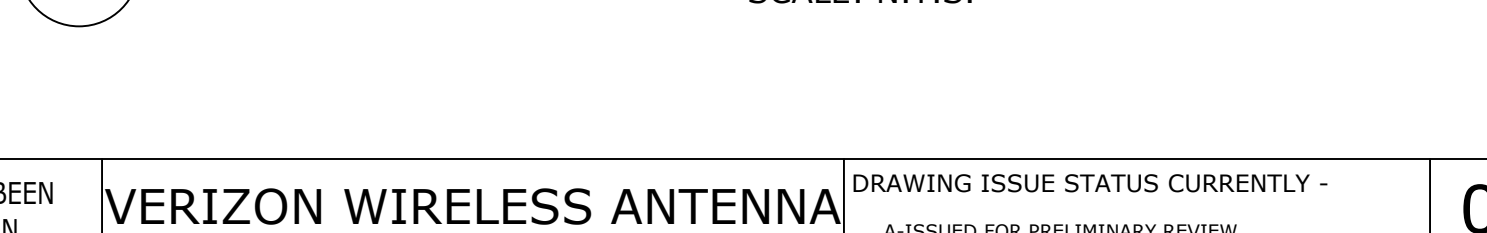
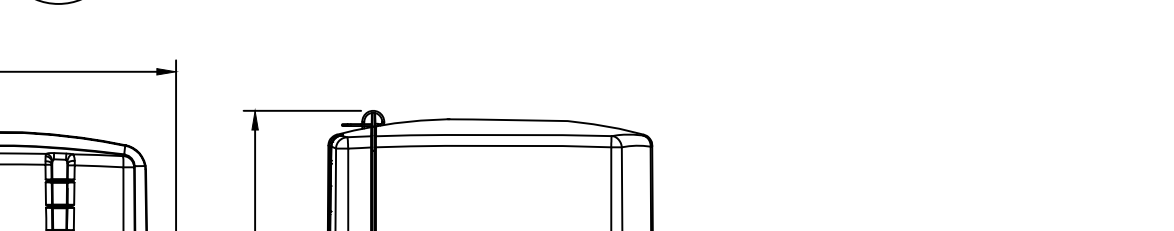
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# 3 C-3 ANTENNA DETAILS --- SCALE: N.T.S.



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**87 HIBERNIA AVENUE  
ROCKAWAY, N.J. 07866  
PHONE: (973) 299-5200  
FAX: (973) 299-5059  
[www.E2PM.com](http://www.E2PM.com)**

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JCM Janowski  
1/29/20

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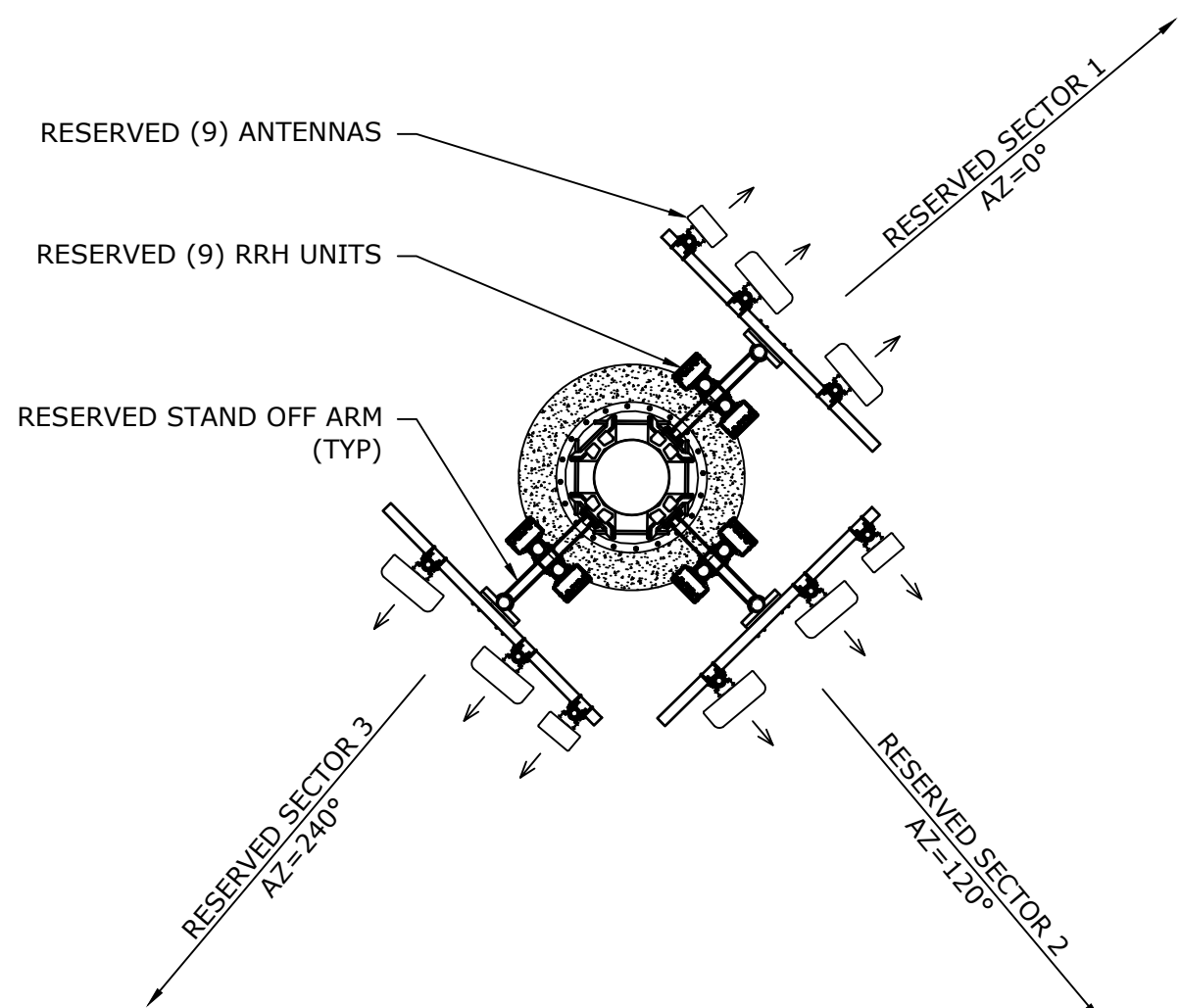
SITE NAME:	SECTORSITE NJ-0418B
26 DEAD TREE RUN ROAD MONTGOMERY TWP, SOMERSET COUNTY, NEW JERSEY 08502 BLOCK 17001 , LOT 11.02	

FIRST ISSUE: 11/11/19	DRAWING
DRAWN BY: TR	
CHECKED BY: JCM	

PROJECT # 44-15-05-0012	PRINT DA
FILE: C:\USERS\JIM\APPOINT\LOCAL\TEMP\AC\PUBLISH_15376\SECTOR\SITE NJ-4188 2D REV 0.DWG	

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## ANTENNA MOUNTING PLAN

SCALE: N.T.S.



MultiPort  
Series

### Tri-Band Eight-Port Antenna

OPR638-XE6D

Electrical				
Port	4-Low Band Ports for 600-900 MHz			
Frequency Range	600-825 MHz	750-862 MHz	824-865 MHz	880-960 MHz
Gain	14.5 dBi	14.7 dBi	15.3 dBi	15.5 dBi
Asimuth Beamwidth (1 dBi)	73°	67°	64°	55°
Elevation Beamwidth (1 dBi)	12.5°	11.5°	11.1°	10.5°
Electrical Downlink	2° to 12°	2° to 12°	2° to 12°	2° to 12°
Elevation Skidboard (1 dBi)	< 18 dB	< 18 dB	< 18 dB	< 17 dB
Front-to-Back Ratio (dB)	> 35 dB	> 35 dB	> 35 dB	> 35 dB
Cross-Polar Discrimination at Peak	> 25 dB	> 25 dB	> 25 dB	> 24 dB
Cross-Polar Port-to-Port Isolation	> 25 dB	> 25 dB	> 25 dB	> 25 dB
Voltage Standing Wave Ratio (VSWR)	< 1.5:1	< 1.5:1	< 1.5:1	< 1.5:1
Relative Intermodulation (dBm)	-105 dBm	-105 dBm	-105 dBm	-105 dBm
Input Power Continuous Wave (CW)	500 watts	500 watts	500 watts	500 watts
Power Amplifier	Due Linear 45°	Due Linear 45°	Due Linear 45°	Due Linear 45°
Input Impedance	50 ohms	50 ohms	50 ohms	50 ohms
Lightning Protection	DC Ground	DC Ground	DC Ground	DC Ground

MIMO Technical Specifications				
Frequency Range	600-825 MHz	750-862 MHz	824-865 MHz	880-960 MHz
Gain over all T10 (dBi)	13.5	13.9	14.2	14.6
Gain over all T10 (Tolerance) (dBi)	0.5	0.5	0.5	0.5
Gain at Low T10 (dBi)	13.7	14.2	14.4	14.8
Gain at Mid T10 (dBi)	13.5	14.0	14.3	14.7
Gain at High T10 (dBi)	13.2	13.7	14.0	14.2
Asimuth Beamwidth Tolerance (°)	10.8	6.5	6.9	10.5
Elevation Beamwidth Tolerance (°)	1.2	0.6	0.6	0.6
Electrical Downlink Elevation (°)	1.1	0.9	0.9	0.9
First Upper Sideband Suppression (dB)	13.5	13.3	14.5	14.0
Upper Sideband Suppression Peak to 20° (dB)	27.3	27.5	26.8	26.4
Front-to-Back Ratio over 120° (dB)	23.0	25.2	25.5	26.7
Cross-polar Discrimination at 60° (dB)	17.5	11.2	11.2	10.5

\* All specifications are subject to change without notice.

## ANTENNA DETAILS

SCALE: N.T.S.

PRODUCT DATA SHEET		RADIO FREQUENCY SYSTEMS	
APR071814-C-000		REF	
TD-LTE Baseforming Cross Polarized 8-port Antenna, 2496-2680MHz, 14m, 65deg, VET, RET, 0-6°			
FEATURES / BENEFITS		Technical Features	
This antenna provides an ideal solution using 4 elements (2 Ports) for flexible use in Baseforming and MIMO applications in the TD-LTE band.			
Multiple Individual Beam Control (3dB Beam)			
Single High Power Beam System (Directional Beam)			
Beamforming flexibility up to 10° off boresight (Service Beam)			
Calculation Beamforming for precise steering performance			
Integrated AGC compliant 651 Wator			
Variable electrical down 100 to 6 degrees			

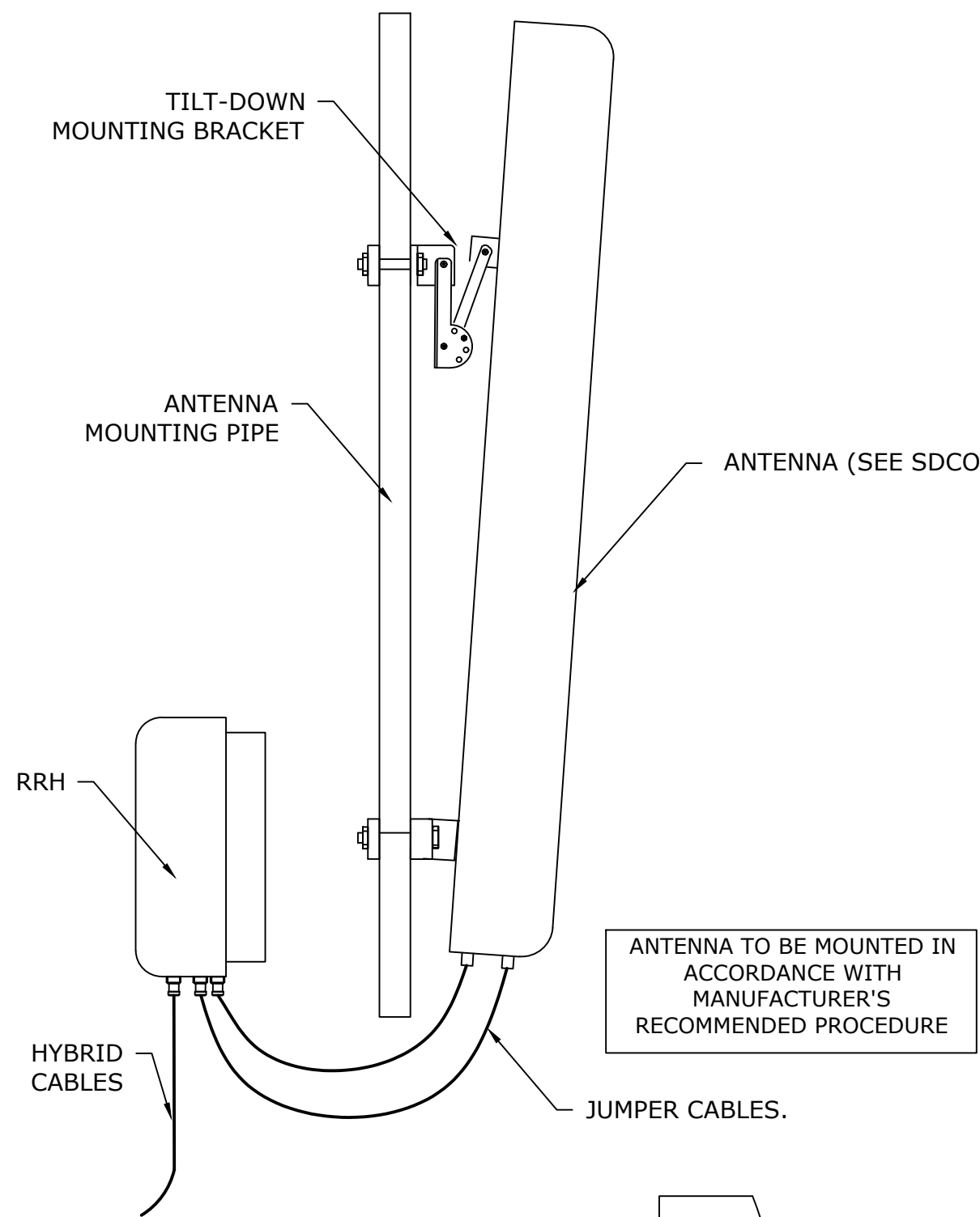
T1 UNIT BEAM LIST		Frequency Band	10/12	2496-2680
Gain	(dBd)	10/12	14.5	14.5
Asimuth Beamwidth 1dB	(°)	10/12	14.5	14.5
Cross Polar Discrimination	(dB)	10/12	14.5	14.5
Gain Beam	(dB)	10/12	14.5	14.5
VSWR at 10/12	(dB)	10/12	14.5	14.5
Electrical Downlink	(°)	10/12	14.5	14.5
Electrical Downlink	(°)	10/12	14.5	14.5
Upper Sideband Suppression	(dB)	10/12	14.5	14.5
First Upper	(dB)	10/12	14.5	14.5

T2 UNIT BEAM LIST CENTER		Frequency Band	10/12	2496-2680
Gain	(dBd)	10/12	14.5	14.5
Asimuth Beamwidth 1dB	(°)	10/12	14.5	14.5
Cross Polar Discrimination	(dB)	10/12	14.5	14.5
Gain Beam	(dB)	10/12	14.5	14.5
VSWR at 10/12	(dB)	10/12	14.5	14.5
Electrical Downlink	(°)	10/12	14.5	14.5
Electrical Downlink	(°)	10/12	14.5	14.5
Upper Sideband Suppression	(dB)	10/12	14.5	14.5
First Upper	(dB)	10/12	14.5	14.5

APR071814-C-000 REV. B REV. DATE: Oct 9, 2017 www.rfmworld.com Page 1 of 12

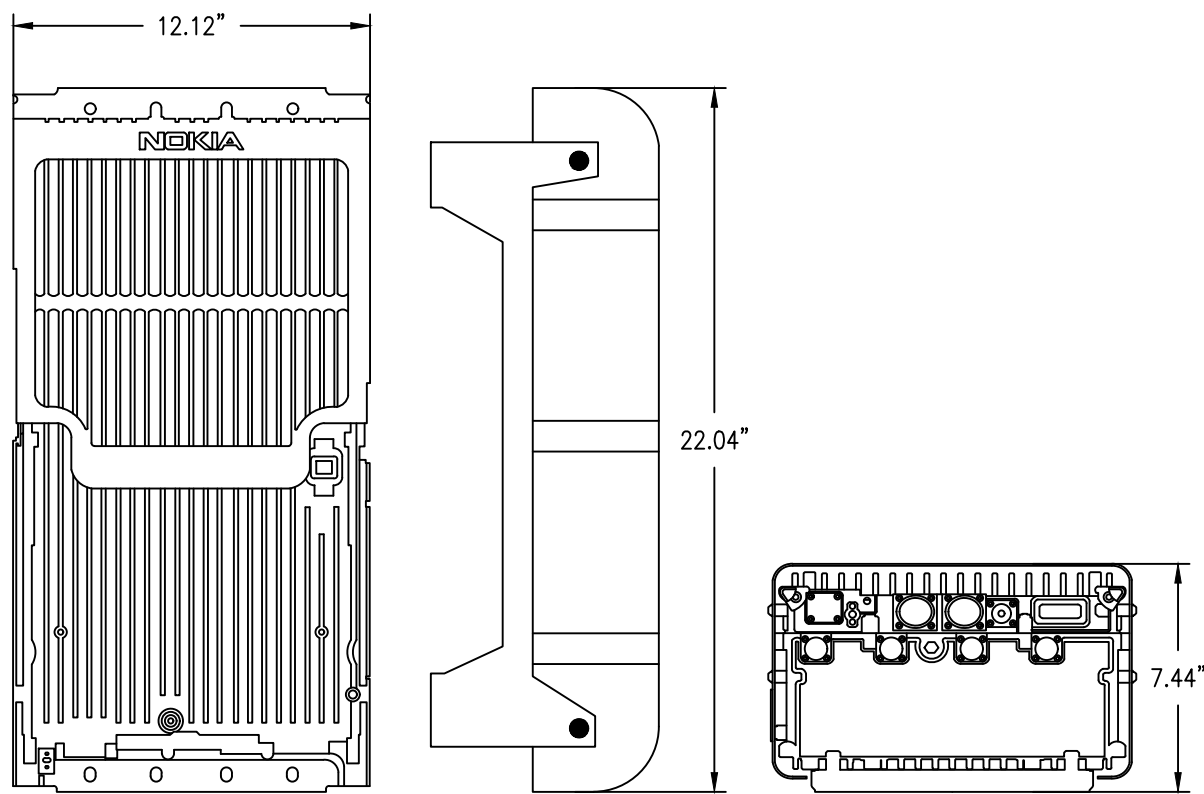
## ANTENNA DETAILS

SCALE: N.T.S.



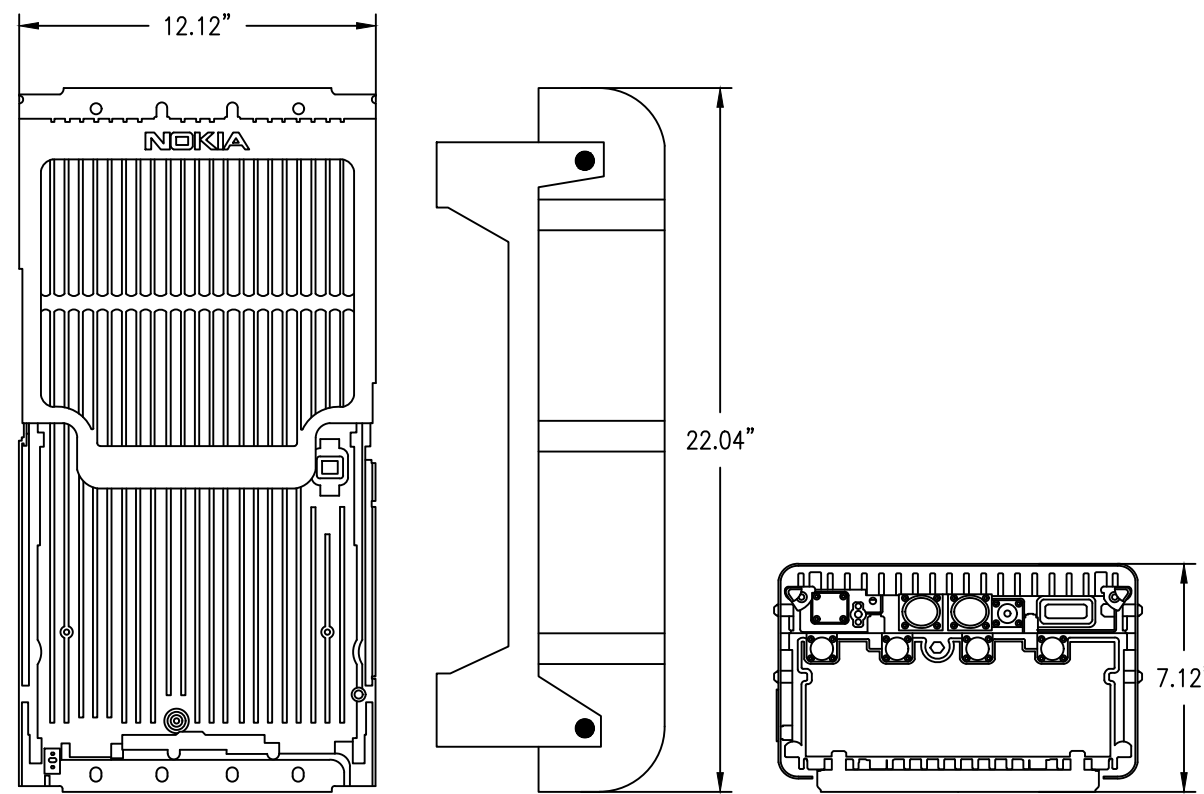
## ANTENNA MOUNTING DETAIL

SCALE: N.T.S.



## RRH UNIT D.B.-700-850-NOKIA

SCALE: N.T.S.



## RRH UNIT D.B.-PCS-AWS-NOKIA

SCALE: N.T.S.

### SCHEDULE OF REVISIONS

REV. NO.	DATE	DESCRIPTION OF CHANGES	DRAWN BY	CHK. BY
0	01/23/20	ISSUED FOR MUNICIPAL REVIEW	TR	JS



NEW YORK SMSA  
LIMITED PARTNERSHIP  
d/b/a **verizon** wireless  
180 WASHINGTON VALLEY ROAD,  
BEDMINSTER, NEW JERSEY 07921

N.J. ENGINEERING CERTIFICATE OF  
AUTHORIZATION No. 24GA28118200  
**E 2 PROJECT MANAGEMENT LLC**

87 HIBERNIA AVENUE  
ROCKAWAY, N.J. 07866  
PHONE: (973) 299-5200  
FAX: (973) 299-5059  
www.E2PM.com



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I CERTIFY THAT THESE PLANS HAVE BEEN  
PREPARED UNDER MY SUPERVISION

*JCM*  
1/29/20

JAMES C MURAWSKI P.E. NJ24GE04738200  
REGISTERED PROFESSIONAL ENGINEER

### RESERVED SPRINT EQUIPMENT DETAILS

SITE NAME:

SECTORSITE NJ-0418B

26 DEAD TREE RUN ROAD  
MONTGOMERY TWP, SOMERSET COUNTY,  
NEW JERSEY 08502  
BLOCK 17001 , LOT 11.02

DRAWING ISSUE STATUS CURRENTLY -  
A-ISSUED FOR PRELIMINARY REVIEW  
B-(SPECIFY)  
C-(SPECIFY)  
D-(SPECIFY)

0

FIRST ISSUE: 11/11/19

DRAWN BY: TR

CHECKED BY: JCM

SCALE: AS SHOWN

PROJECT #: P-19-59-001.1 PRINT DATE: 01/23/20

SHEET NO: 11 OF 11

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SECTORSITE NJ-0418B 2D REV 0.DWG